

BOARD OF ARCHITECTURAL REVIEW
Tuesday, December 9, 2025 @ 7 PM
Town Hall – 2nd Floor, East Conference Room

AGENDA

CALL TO ORDER

ROLL CALL

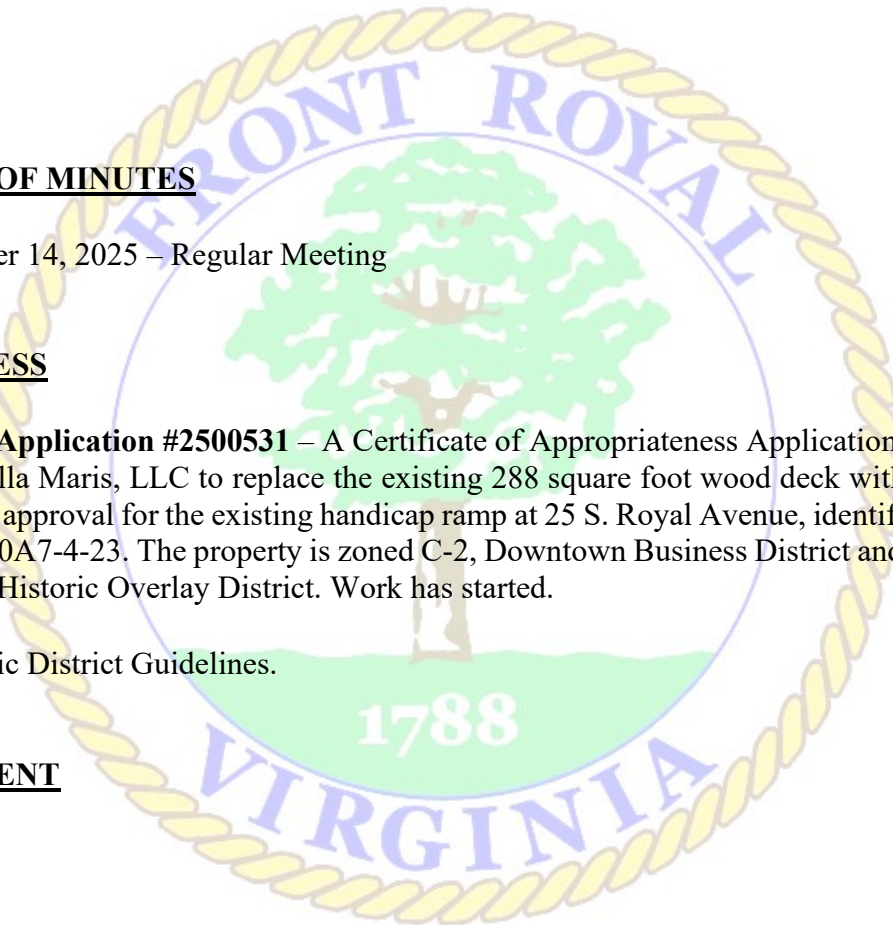
APPROVAL OF MINUTES

- October 14, 2025 – Regular Meeting

NEW BUSINESS

- **COA Application #2500531** – A Certificate of Appropriateness Application submitted by Stella Maris, LLC to replace the existing 288 square foot wood deck with Trex and obtain approval for the existing handicap ramp at 25 S. Royal Avenue, identified by Tax Map 20A7-4-23. The property is zoned C-2, Downtown Business District and is located in the Historic Overlay District. Work has started.
- Historic District Guidelines.

ADJOURNMENT





The following minutes are a summary of items on the agenda. This meeting may be viewed in its entirety by accessing the video of the same date online via the Town's website at www.frontroyalva.com for a limited time.

A regular meeting of the Board of Architectural Review of the Town of Front Royal, Virginia was held on October 14, 2025, in the Town Hall, 2nd Floor East Conference Room.

CALL TO ORDER

Chairman Waters called the Board of Architectural Review meeting to order at 7:00 p.m.

ROLL CALL

Present: Collin Waters, Chairman
Gary Vaughan, Vice Chairman
Ellen Aders

Absent: Dede Nash
Katherine Snyder

Staff Present: Daniel Wells, Code Enforcement/Property Maintenance Official
Connie Potter, Executive Assistant/Clerk for the Board of Architectural Review

APPROVAL OF MINUTES

- August 12, 2025 – Regular Meeting
- September 9, 2025 – Work Session

Ms. Aders moved, seconded by Vice Chairman Vaughan to approve both the regular meeting minutes and the work session minutes as written.

VOTE: Yes – Waters, Aders, Vaughan
No – N/A
Abstain – N/A
Absent – Nash, Snyder

VOICE VOTE

NEW BUSINESS

- **COA Application #2500476** – A Certificate of Appropriateness Application submitted by Dollar House, LLC, c/o Matthew Tederick, Managing Member to replace the existing wood decking on the front porch with Trex decking, replace the existing wood steps with a composite material, and to replace the existing handrails from wood to black pipe at 100 Peyton Street. Work is complete.



Mr. Wells explained that the COA application request was to replace the existing wood decking on the front porch with Trex. A sample of the Trex was provided at the meeting. The work has been completed. Mr. Wells stated that staff did not have an issue approving the work, other than the requirement for review of the application by the Board of Architectural Review.

After some discussion between BAR members and the applicant Mr. Tederick, the following motion was made.

Ms. Aders moved, seconded by Vice Chairman Vaughan to approve the application with the contingencies of covering up the Trex edging along the steps on the right side of the building, replacing the tops of the handrails from Trex to wood, and painting all of the wood that is exposed now by the spring time.

VOTE: Yes – Waters, Aders, Vaughan
No – N/A
Abstain – N/A
Absent – Nash, Snyder

VOICE VOTE

OTHER

Mr. Wells mentioned that staff did not receive the draft guidelines until Saturday, October 11th and had not had a chance to review them.

Chairman Waters said he had been working on the draft Historic District Guidelines. He noted he had not finished them but felt it was a good document to work off of and said he took information from Warrenton's Historic District Guidelines.

Ms. Aders noted she would like to see pictures included in the new guideline document.

BAR members agreed to hold a work session on November 12th at 5:30 p.m. to work on the Historic District Guidelines.

Mr. Wells said there were no BAR By-Laws. He distributed copies of the Town Code section pertaining to the Board of Architectural Review. With regard to a new Historic District survey Mr. Wells shared that he had spoken to the Department of Historic Resources (DHR) who said they could conduct a survey once the Town becomes a Certified Local Government (CLG). Elizabeth "Lizi" Lewis, Community Development & Tourism Director for the Town of Front Royal is currently working on the Town becoming a CLG. DHR can also provide training to BAR members once the Town is certified.

Ms. Aders asked for an update on 505 E. Main Street with regard to the window replacements.



Mr. Wells explained he had been working with the property owner and recommended that he speak with Mr. Poe who owns the Franks Building and Barbara Samuels who were able to obtain wood replacement windows. He shared that Shelly Cook stated that is waiting for her renter to leave the property on Royal Avenue to replace the windows which should be complete by the end of October.

At their meeting on September 22, 2025, Town Council unanimously approved with amendments a Zoning Text Amendment to Town Code §175-84.B – Board of Architectural Review, to add language restricting the redevelopment of historic residential sites to single-family dwelling units in the Residential Area of the Towns’ Historic District; and, Town Code Chapter 175-29 – Uses Permitted by Right, to add language preventing the conversion of single-family residential structures into multifamily or two-family dwellings. Listed here are the amendments:

1. Remove the draft language in 175-84.B, “limiting development of undeveloped lots to single family use”.
2. Remove the draft language in 175-84.B.11 in its entirety.
3. Amend the drafted language in 175-29 to permit Duplexes, Townhouses, and Two-Family Dwellings in the Historic District by Special Use Permit.

ADJOURNMENT

Ms. Aders moved, seconded by Vice Chairman Vaughan to adjourn the meeting.

VOTE: Yes – Vaughan, Aders, Waters
No – N/A
Abstain – N/A
Absent – Nash, Snyder

VOICE VOTE

The meeting was adjourned at 7:30 p.m.

Approved by Board of Architectural Review
Date: _____

COA Application #2500531 – A Certificate of Appropriateness Application submitted by Stella Maris, LLC to replace the existing 288 square foot wood deck with Trex and obtain approval for the existing handicap ramp at 25 S. Royal Avenue, identified by Tax Map 20A7-4-23. The property is zoned C-2, Downtown Business District and is located in the Historic Overlay District. Work has started.



TOWN OF FRONT ROYAL
DEPARTMENT OF PLANNING & ZONING

BOARD OF ARCHITECTURAL REVIEW
DECEMBER 9, 2025

APPLICATION #: Certificate of Appropriateness Application #2500531	APPLICANT: Stella Maris, LLC
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APPLICATION SUMMARY:

A Certificate of Appropriateness (COA) Application has been submitted to replace the existing wood deck on the rear of the building with “Trex” decking boards and wood rails and pickets. In addition, the applicant is seeking approval for an existing handicamp ramp that was constructed using concrete and Trex with the railings being wrought iron at 25 S. Royal Avenue. Work has begun replacing the deck. Warren County Building Inspections issued a Stop Work Order on November 3, 2025.

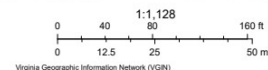
GENERAL INFORMATION:

<i>Site Addresses</i>	25 S. Royal Avenue
<i>Owner(s)</i>	Stella Maris, LLC
<i>Zoning District</i>	C-2, Downtown Business District
<i>Historic District</i>	Front Royal Historic Overlay District
<i>Tax Identification</i>	20A7-4-23
<i>Location</i>	The subject property fronts S. Royal Avenue and is located north of the intersection of S. Royal Avenue, W. Jackson Street and E. Jackson Street.

Vicinity - Aerial (Warren County GIS)



December 1, 2025



Front Building Elevation – Historic District Survey 3/27/1994



Rear Building Elevation – Historic District Survey 3/27/1994



Front Building Elevation – November 21, 2025



Rear Building Elevation Showing Deck Construction – November 21, 2025



Rear-Left Building Elevation Showing Deck Construction – November 21, 2025



Rear-Right Existing Ramp – November 21, 2025



SUPPLEMENTAL INFORMATION:

<i>Legal Authority</i>	The Board of Architectural Review (BAR) is established by the legal authority of Virginia Code §15.2-2306 and Sections 175-82 through 175-98 of the Town Code. The Town Code gives review authority to the BAR for major projects within the Historic Overlay District. The Historic Overlay District consists of the areas and structures identified within the Front Royal Historic District. Town Code, Section 175-82, states that the purposes of establishing the historic resource overlay areas include the following: 1. To preserve and improve the quality of life for residents of the Town of Front Royal by protecting familiar and treasured visual elements in the area. 2. To promote tourism by protecting historical and cultural resources attractive to visitors and thereby supporting local business and industry. 3. To stabilize and improve property values by providing incentive for the upkeep and rehabilitation of older structures and by encouraging desirable uses and forms of economic development. 4. To educate residents on the local cultural and historic heritage as embodied in the Historic District Overlay Areas and to foster a sense of pride in this heritage. 5. To promote local historic preservation efforts and to encourage the identification and nomination of qualified historic properties to the National Register of Historic Places and the Virginia Landmarks Register. 6. To prevent the encroachment of additions or new buildings and structures that are architecturally incongruous with their environs within areas of architectural harmony and historic character. Except where administrative review authority is granted under Section 175-89.1, and where review is exempt under Section 175-90, the BAR is responsible for reviewing major projects in the Historic Overlay District in accordance with the guidelines found under Section 175-91 of the Town Code. These guidelines are listed at the end of this report.
<i>Historic Information</i>	The building (circa 1860-1880) is a contributing building to the Front Royal Historic District. Below are notes about the structure, as found within the Historic District records. A full copy of the report is attached (see historic reconnaissance survey – attachment B). Brief Architectural Description of Additions and Alterations The house had its portico added by 1919, and the entrance fanlight and sidelights, and casement window above the entrance may also have been added at that time. The rear ell's porch was added after 1919 and enclosed by 1927; also, by 1927 a 1-story porch had been built at the rear of the ell, and it is now enclosed. Between 1907 and 1912 an ell was added.

	Brief Architectural Description of Primary Resource: This house is a complex structure, containing an older core that has been added to and updated, resulting in an idiosyncratic Vernacular Colonial Revival building that combines various elements of the style. The house was moved from its original site at the southeast corner of the intersection of West Main Street and Lee Street between 1912 and 1919, apparently to make way for the new post office building (now the Front Royal Police Department). The house appears on its original site in 1887 as a 2-story rectangular block with a 1-story front porch across the central bay, and a 2-story rear ell with a 1-story side porch. The full-height pedimented portico with large Tuscan Doric columns that now fronts the house came from another Main Street house. In its present form, which largely reflects the original structure's configuration, the house has a 3-bay front facade with a central entrance, decorated with an elliptical fanlight and multi-paned sidelights that probably date from the 1920s; above the entrance is a casement window unit with 12-light casements flanked by 12-light sidelights which is also later. The portico's pediment has a cornice with dentils, and contains a round window. The front facade is edged with Tuscan Doric pilasters and a wide frieze board under the portico. There is a boxed cornice with returns edging the house's roof, and the walls have corner boards with caps. The vertical members of the window frames have chamfered profiles. The house still has a 2-story rear ell, and the side porch has been enclosed. This property has had a variety of uses: in 1970, it was known as the Colonial Motel, serving as a rooming house and residence; it has since been adapted to office use.
<i>Incentives for Rehabilitation</i>	● Partial Real Estate Tax Exemption. Pursuant to Section 75-75 of the Town Code, the exemption shall commence on January 1 of the year following completion of the rehabilitation and shall run with the real estate for a period of ten (10) years. ● State Tax Income Credit. The Virginia Rehabilitation Tax Credit Program allows property owners who complete a certified rehabilitation project to receive an income tax credit on 25% of their eligible expenses and an additional 20% credit through the Federal Rehabilitation Tax Credit Program.

GUIDELINES WORKSHEET FOR BAR EVALUATION		
Historic Overlay District Guidelines	1	The historic archaeological or architectural value and significance of a structure and its relationship to the historic value of the surrounding area
	2	The age and character of the historic structure, its condition, and its probable life expectancy and the appropriateness of the proposed changes to the period or periods during which the structure was built
	3	The general compatibility of the site plan and the exterior design arrangement, texture and materials proposed to be used
	4	The view of the structure or area from a public street or road, present or future
	5	The present character of the setting of the structure or area and its surroundings
	6	The probable effect of proposed construction on trees, wooded areas, or historic sites
	7	Any other factors, including aesthetic factors, which the reviewing bodies deem to be pertinent
	8	The appropriateness of the exterior architectural features of such building or structure to the compatibility with the exterior architectural features of landmarks, buildings, or structures in the district, taking into consideration the following: - General design - Character and appropriateness of design - Form - Proportion and scale - Mass - Configuration - Arrangement. - Texture. - Material. - The permanent color of exterior materials (excluding paint). - The relationship of such elements to similar features of structures in the immediate surroundings. - Congruity with the character of the Historic District.
	Additional Guidelines: - The reviewing bodies shall not adopt or impose any specific architectural style in the administration of this Article. - The reviewing bodies shall also be guided by the purposes for which landmarks, landmark sites and historic districts are designated and by the standards and considerations contained in the Secretary of the Interior's Standards for Rehabilitation. - See Demolition Review Guidelines Addendum for demolition of structures.	

SUMMARY OF APPLICATION:

The work was started on this property without the property owner and/or their contractor first obtaining the necessary permits. The contractor removed the existing pressure treated wood decking and handrails on the rear of the structure and started replacement prior to a stop work order being issued by the Warren County Building Department. Their intention is/was to replace the existing worn and rotten decking with Trex composite deck boards to match the existing ramp installed by the previous building owner. While undergoing the permit application process, it was discovered the existing Trex ramp was never permitted or approved and would need to be addressed as well. Both the ramp and deck are not contributing to the historic nature of the structure and could easily be removed. Additionally, both are located at the rear of the structure and visible only from the alley behind the property. Staff have no concerns with the approval of this application.

Attachments:

- Attachment A: Certificate of Appropriateness Application and supporting documents.
- Attachment B: Historic Reconnaissance Survey.

TOWN OF FRONT ROYAL
 Department of Planning and Zoning
 102 East Main Street
 PO Box 1560
 Front Royal, VA 22630

Main 540.635.4236

Fax: 540.631.2727

planning@frontroyalva.com



TOWN OF FRONT ROYAL
 PLANNING & ZONING DEPARTMENT

Payment Type: CHK # 1061Date Paid: 11-3-25Date Received: 11-3-25Application Fee: \$300.00 X2

Demolition of Historic Structure \$400.00

*For Non-Profit - 25% Fee Reduction of

Regular Fee _____ (check here)

CERTIFICATE OF APPROPRIATENESS APPLICATION (BOARD REVIEW)

☐ New Construction ☐ Rehabilitation ☐ Sign ☒ Other REAR DECK OFF ALLEY

Application is hereby made for a Certificate of Appropriateness and is made subject to the local Historic District Ordinance, other local ordinances, and State laws which are presently in force or that may hereafter be enacted affecting or regulating thereto. The undersigned applicant agrees to these requirements which are a necessary condition for approval of this certificate.

Name of Applicant: STELLA MARIS, LLCAddress of Applicant: 25 S ROYAL AVEFRONT ROYAL, VA 22630Phone Number: 540-686-1203 E-Mail: info@stella-maris-hill.com

Property in Question:

Street Address: 25 S ROYAL AVE, FRONT ROYAL, VA 22630Tax Map Number: 20A7423Historic District: ☐ Downtown Residential Area☒ Downtown Business AreaName of Property Owner(s): STELLA MARIS, LLCAddress of Property Owner(s): 25 S ROYAL AVEFRONT ROYAL, VA 22630Phone Number: 540-686-1203 E-Mail: info@stella-maris-hill.com

Are there any other applications relevant to this property or the proposed modifications being considered by any other regulatory or administrative agency? ☐ Yes ☐ No

If Yes, please describe: _____

Description of Proposal, including materials and colors used with each modification (List for foundation, walls, doors, windows, trim gutters/downspouts, roofing, sign, lighting, sidewalk, fencing and gutters as applicable) (attach separate sheets if necessary):

REAR DECK - WOOD / TREX, 220 sq. ft

seeking approval for existing handicap ramp (4'x 20')

Also include the following as applicable:

- ☐ Attached map with property under consideration marked
- ☐ Site Plan
- ☐ Sketch, drawing, elevations
- ☐ Photographs or slides showing property in question
- ☐ Material samples (shall be provided with the application)

*NOTE: A public hearing is required for demolition work.

STELLA MINNIS, LLC

Signature of Applicant: By: VINCENT MATA, MEMBER-MANAGER Date: 10/29/2025

Signature of Representative (if applicable): _____

Date: _____

By submitting this application, the applicant grants permission to Town officials and employees to enter upon the property, which is the subject of this application, during reasonable hours and for purposes related to the application process.

T.M. 20A7-4 PARCEL 9B
N/F WHITE OAK DUCKPINS L.L.C.
- BDY PROPERTIES SERIES
PER INST.# 110006463

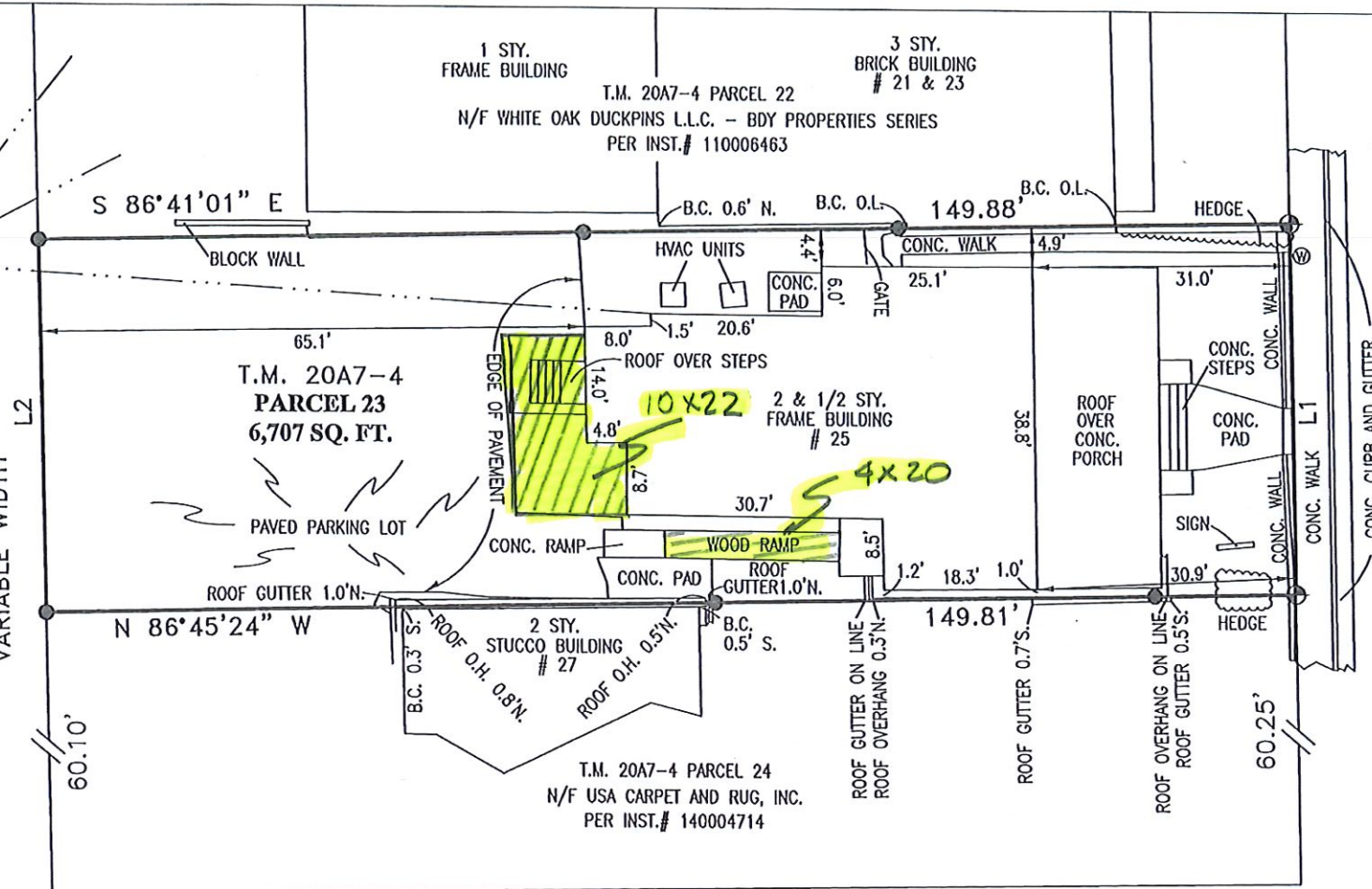
T.M. 20A7-4 PARCEL 8
N/F KIDWELL
PER INST.# 180002786

T.M. 20A7-4 PARCEL 7
N/F BLUE RIDGE INFORMATION
SYSTEMS, INC.
PER INST.# 240005555

LINE	BEARING	DISTANCE
L1	S 03°38'00" W	44.67'
L2	N 03°32'30" E	44.86'

SURVEY OF THE
STELLA MARIS LLC PROPERTY
FORK MAGISTERIAL DISTRICT
**TOWN OF FRONT ROYAL
WARREN COUNTY, VA.**

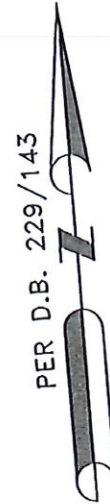
NO TITLE REPORT WAS FURNISHED TO THIS OFFICE.
SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.
DERIVATION OF TITLE TO: STELLA MARIS LLC
PER INST. # 220006862.
SUBJECT PARCELS SITUATED OUTSIDE
THE LIMITS OF THE FEMA FLOOD ZONE.
PROPERTY ZONED C-2.



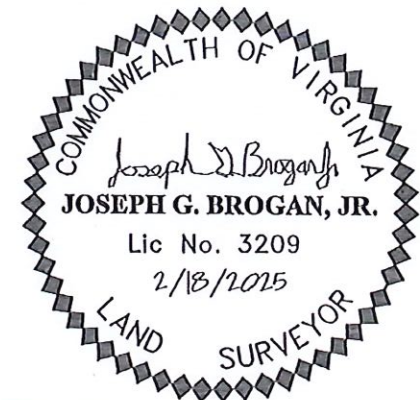
- ⊕ DENOTES DRILL HOLE SET IN CONC.
- ⊙ DENOTES WATER METER.
- ⊙ DENOTES PIN SET.
- ⊙ DENOTES UTILITY POLE.
- DENOTES OVERHEAD WIRES.

SOUTH ROYAL AVE.

50' WIDE



PER D.B. 229/143



PREPARED BY:
BROGAN LAND SURVEYING, PLC
P.O. BOX 1578,
FRONT ROYAL, VA. 22630-0034
TEL. & FAX (540) 635-5657
FEBRUARY 18, 2025

T.M. 20A7-4 PARCEL 9B
N/F WHITE OAK DUCKPINS L.L.C.
- BDY PROPERTIES SERIES
PER INST.# 110006463

T.M. 20A7-4 PARCEL 8
N/F KIDWELL
PER INST.# 180002786

T.M. 20A7-4 PARCEL 7
N/F BLUE RIDGE INFORMATION
SYSTEMS, INC.
PER INST.# 240005555

LINE	BEARING	DISTANCE
L1	S 03°38'00" W	44.67'
L2	N 03°32'30" E	44.86'

SURVEY OF THE
STELLA MARIS LLC PROPERTY
FORK MAGISTERIAL DISTRICT
**TOWN OF FRONT ROYAL
WARREN COUNTY, VA.**

1 STY.
FRAME BUILDING
T.M. 20A7-4 PARCEL 22
N/F WHITE OAK DUCKPINS L.L.C. - BDY PROPERTIES SERIES
PER INST.# 110006463
3 STY.
BRICK BUILDING
21 & 23

T.M. 20A7-4
PARCEL 23
6,707 SQ. FT.

T.M. 20A7-4 PARCEL 24
N/F USA CARPET AND RUG, INC.
PER INST.# 140004714

W. JACKSON ST.

NO TITLE REPORT WAS FURNISHED TO THIS OFFICE.
SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.
DERIVATION OF TITLE TO: STELLA MARIS LLC
PER INST. # 220006862.

SUBJECT PARCELS SITUATED OUTSIDE
THE LIMITS OF THE FEMA FLOOD ZONE.
PROPERTY ZONED C-2.

⊕ DENOTES DRILL HOLE SET IN CONC.
⊙ DENOTES WATER METER.
⊙ DENOTES PIN SET.
⊙ DENOTES UTILITY POLE.
--- DENOTES OVERHEAD WIRES.

SOUTH ROYAL AVE.

50' WIDE

PER D.B. 229/143



PREPARED BY:
BROGAN LAND SURVEYING, PLC
P.O. BOX 1578,
FRONT ROYAL, VA. 22630-0034
TEL. & FAX (540) 635-5657
FEBRUARY 18, 2025

DECK SPECIFICATION SHEET

(Please fill out and attach a drawing of the proposed deck.)

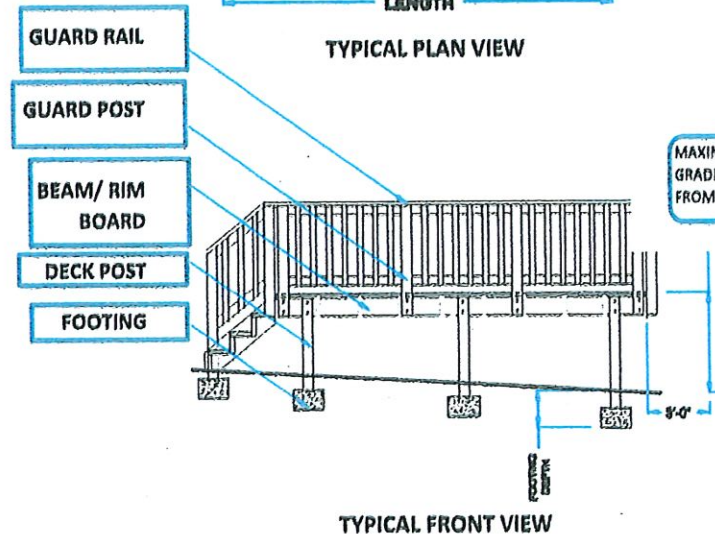
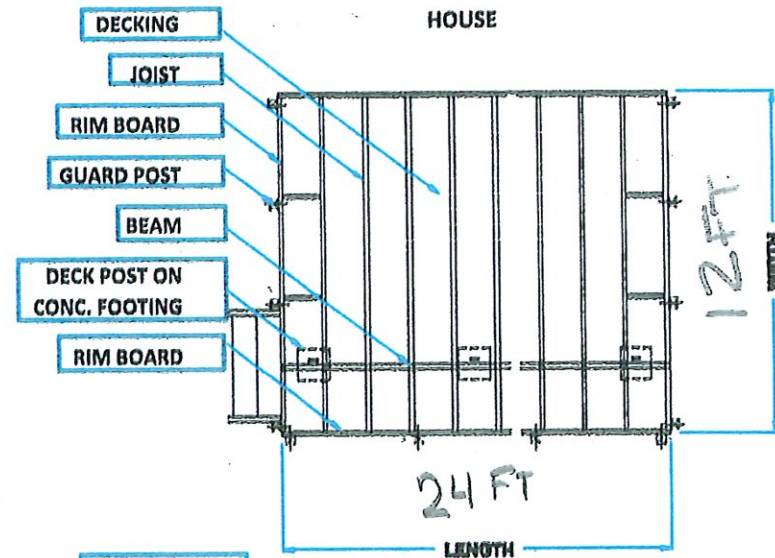
1. **Non-Ledger / Ledger Deck /** (please circle) **Deck ledger to be a min. 2x8**
2. Deck Dimensions (L x W): 24 x 12 3ft (Height)
3. Lumber Species: Southern Pine or Aft. Pressure treated
4. Footing Dimensions (L x W): 24 x 6 (Thick), 24 (Deep)
Total #: 6 (Incl. Stairs)
5. Post Size (L x W): 5 x 6 Post Spacing: 8ft
6. Post Base/Cap Connectors: Y N
Model number _____
No- 12" Embedment in Concrete or Soil & Post Must be Notched (6x6 Only)
7. Ledger (L x W): 6 x 12 w/ 1/2" dia. Bolts/Lag Screws
8. Beams (L x W): 18 x 12 x 2
9. Joist (L x W): 10 x 8 @ 12 o.c. Joists cantilever Y N
10. Wood plastic/Composites: ICC Report and Manufacturers Installation Instructions provided. Y N

DECK TYPES

Non-Ledger Deck: Uses the house to resist lateral loads but doesn't use the house exterior wall to resist vertical loads. Attachment to house to resist lateral loads still required.

Ledger Deck: a deck structure that is physically attached to the house with a ledger board, eliminating the need for a beam or footings adjacent to the house.

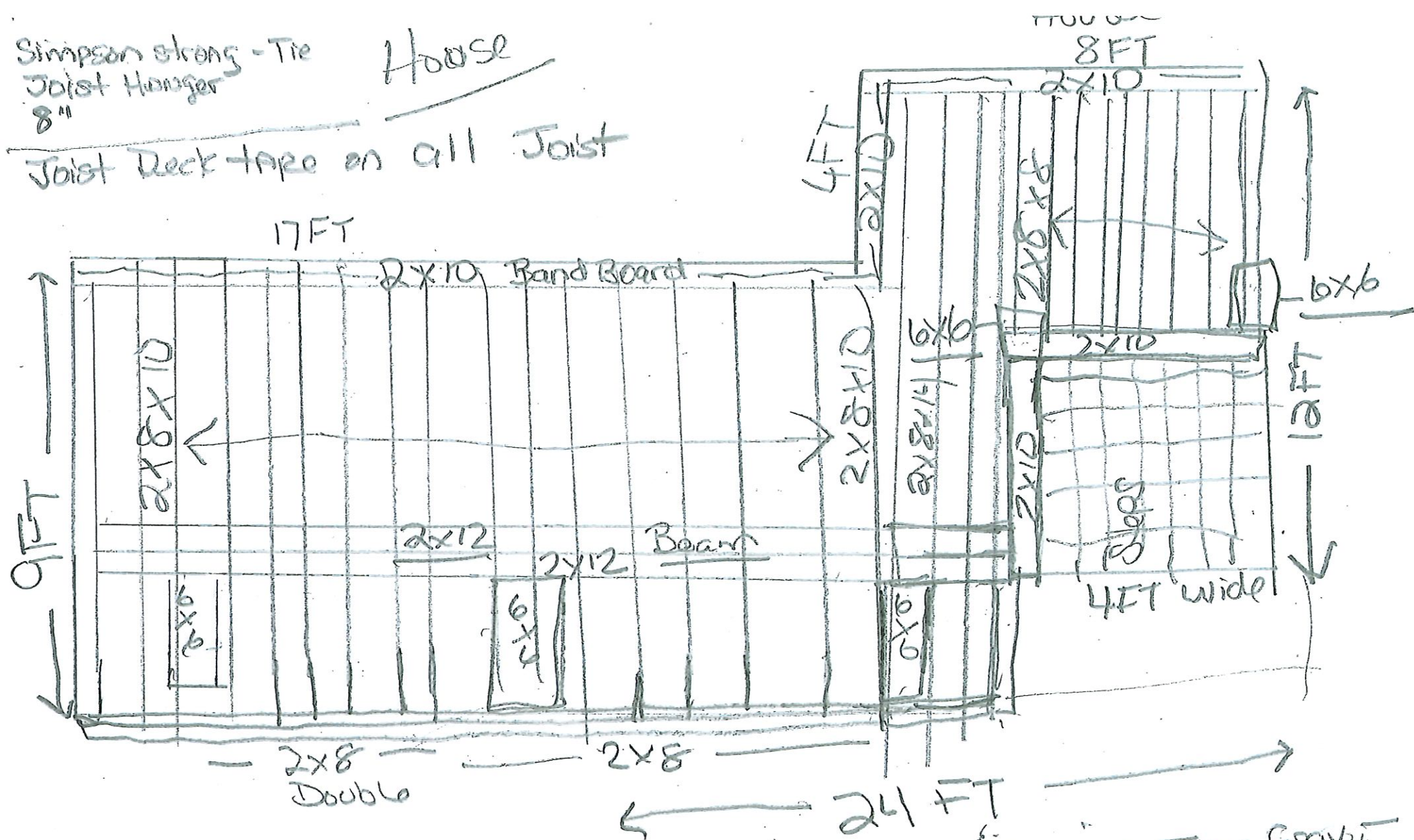
All Decking, trex



Simpson strong-Tie
Joist Hanger
8"

House

Joist Deck tape on all Joist



Band Board to house 2x10

1/2 dia Lag screws with washers 16" on center stagger

2x8 — pressure treated every 12" o.c.

2x10 — " 11 Band Board

2x12 — " 11 Beam

... not 24" on center

Decking Trex Gray
Black Rail Set Trex
Trex Decking Screws







VIRGINIA DEPARTMENT OF HISTORIC RESOURCES
PROPERTY SURVEY FORM
RECONNAISSANCE LEVEL

IDENTIFICATION INFORMATION

VDHR File # 112-0002-000

Property Name:
Address 25 South Royal Avenue
Historic Burke House (Gehring House)

NR Property Category: Building
Wuzit: offices

Tax Code: Section Parcel
=====

7-4 23

County/City: Warren
USGS Map: USGS Quad: Front Royal

ADDRESS/LOCATION INFORMATION

Address: 25 South Royal Avenue
Street/Vicinity of: Municipality: Town of Front Royal ZIP:
22630

PROPERTY CLASSIFICATION INFORMATION

Property Boundaries:
Ownership: Private

RESOURCE COUNT -

#	Category	Contributing?
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TOTAL: 2

2	Building	Contributing
---	----------	--------------

Contrib: 2
Non-Contrib: 0

WUZIT COUNT -

#	Wuzit	Contributing?
---	-------	---------------

TOTAL: 2

1	offices	Contributing
1	Garage	Contributing

Contrib: 2
Non-Contrib: 0

RESOURCE - GENERAL DESCRIPTIVE INFORMATION

Resource Level:
Estimated Construction Date: 1860-1880
Source of Date: site visit/documents
Physical Status: Existing
Condition: Good
Threat: None Known
Degree of Historic Integrity:

PRIMARY RESOURCE RECONNAISSANCE DESCRIPTION

Architectural Style/Derivative: Vernacular Colonial Revival
of Stories: 2.5 # of Bays Wide: 3 # of Bays Deep: 4

Component	#	Form/Treatment	Material	Matr'l Treatment
Chimneys		Interior	Brick	Corbelled Caps
Foundation		masonry	Stone	rough-faced blocks
Porch		Front Portico	Wood	2-story, 2-bay
Roof		Gable	Metal	Standing seam
Walls		frame	Wood	German siding
Windows		double-hung sash	Wood	1/1, 2/2
Windows		Casement	Wood	Multi-Light

Brief Architectural Description of Primary Resource:

This house is a complex structure, containing an older core that has been added to and updated, resulting in an idiosyncratic Vernacular Colonial Revival building that combines various elements of the style. The house was moved from its original site at the southeast corner of the intersection of West Main Street and Lee Street between 1912 and 1919, apparently to make way for the new post office building (now the Front Royal Police Department). The house appears on its original site in 1887 as a 2-story rectangular block with a 1-story front porch across the central bay, and a 2-story rear ell with a 1-story side porch. The full-height pedimented portico with large Tuscan Doric columns that now fronts the house came from another Main Street house. In its present form, which largely reflects the original structure's configuration, the house has a 3-bay front facade with a central entrance, decorated with an elliptical fanlight and multi-paned sidelights that probably date from the 1920s; above the entrance is a casement window unit with 12-light casements flanked by 12-light sidelights which is also later. The portico's pediment has a cornice with dentils, and contains a round window. The front facade is edged with Tuscan Doric pilasters and a wide frieze board under the portico. There is a boxed cornice with returns edging the house's roof, and the walls have corner boards with caps. The vertical members of the window frames have chamfered profiles. The house still has a 2-story rear ell, and the side porch has been enclosed. This property has had a variety of uses: in 1970, it was known as the Colonial Motel, serving as a rooming house and residence; it has since been adapted to office use.

Brief Architectural Description of Additions and Alterations

The house had its portico added by 1919, and the entrance fanlight and sidelights, and casement window above the entrance may also have been added at that time. The rear ell's porch was added after 1919 and enclosed by 1927; also, by 1927 a 1-story porch had been built at the rear of the ell, and it is now enclosed. Between 1907 and 1912 an ell was added.

Brief Architectural Description of Secondary Resources:

Potentially Contributes to Historic District:

N/A

Potentially Associated with NR Multiple Property:

Architectural and Historical Summary:

This resource is significant for its architectural character, which is an idiosyncratic interpretation of the

Colonial Revival that appears well-preserved on the exterior despite the change in use from house to motel to commercial property. The property is sited between 2 resources with historic significance, Front Royal's first public school building dating from the 1870s, and the second Presbyterian Church, built in 1886.

BIBLIOGRAPHY

Type of Record	Citation
Map	Sanborn Map Company
Planning Report	Town of Front Royal Planning Dept., Map Amendments...

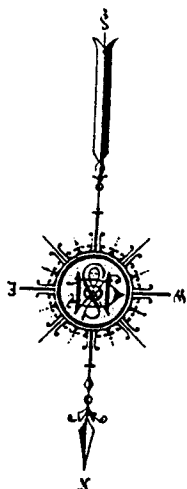
PHOTOGRAPHIC/DRAWINGS DOCUMENTATION

Media	VDHR Neg #	Frames	Date
B&W 35mm photos	12586	22 - 24	2/ 3/1993

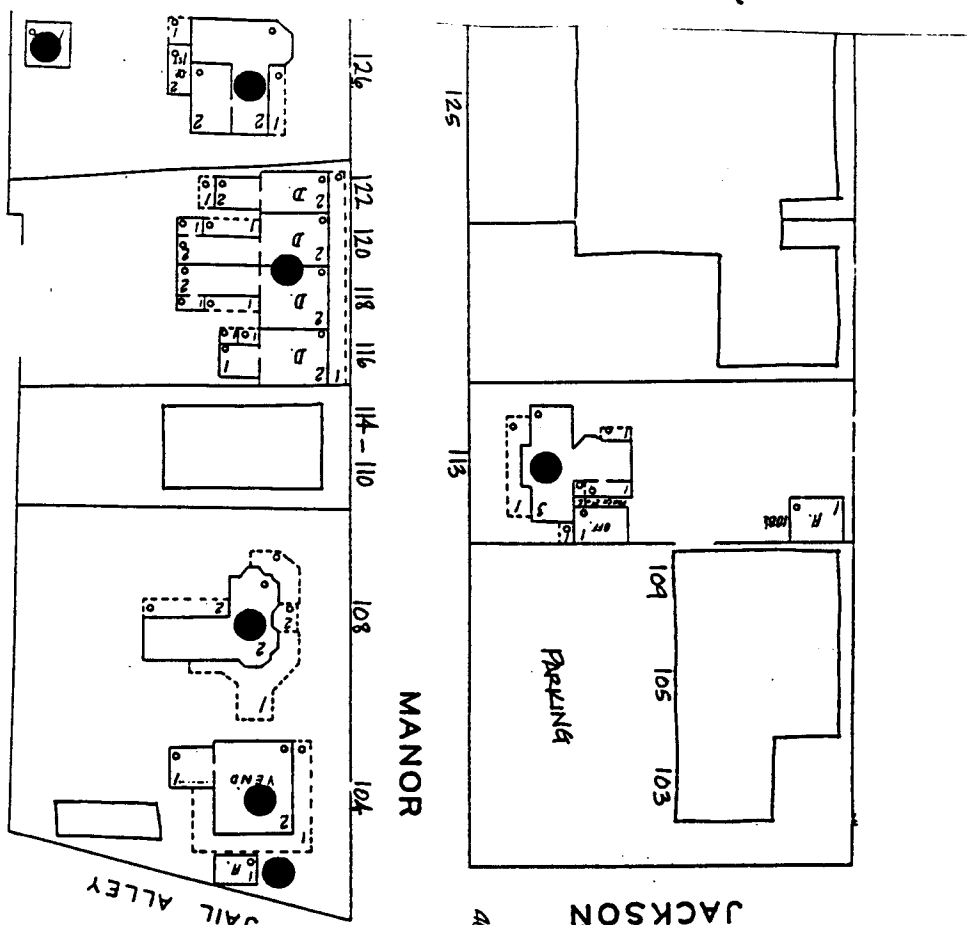
CRM MANAGEMENT EVENTS

CRM Event	Agency/Organization	Date
Reconnaissance Survey	Pres. Assoc. of VA/Smead	2/ 3/1993

TOWN OF FRONT ROYAL



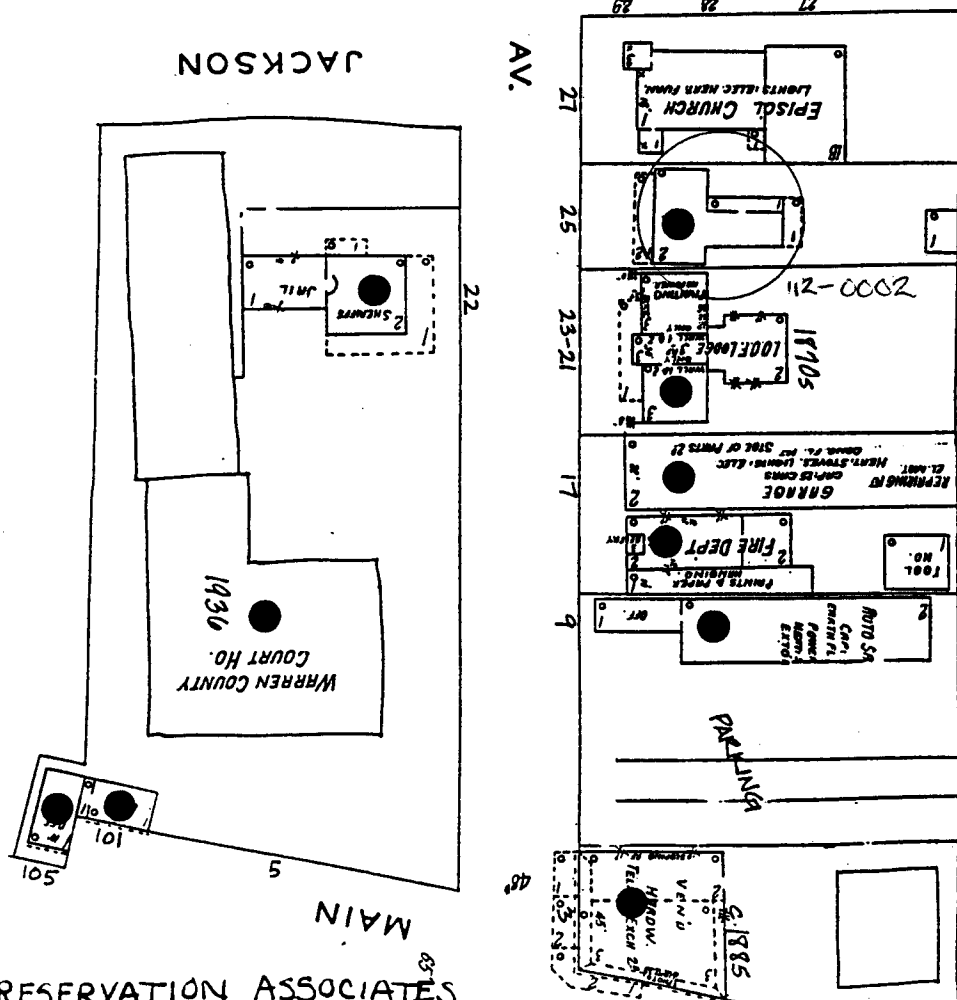
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PRESERVATION ASSOCIATES
OF VIRGINIA

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DRAFT HISTORIC DISTRICT GUIDELINES

HISTORIC OVERLAY DISTRICT

DESIGN GUIDELINES (2025 DRAFT)

Town of Front Royal, Virginia
Board of Architectural Review
Department of Planning & Zoning
102 East Main Street, Front Royal, VA 22630
540-635-4236

INTRODUCTION

The Historic Overlay District Design Guidelines are a supplementary set of standards to those outlined in the Town Code. They are used by the Board of Architectural Review (BAR) in evaluating requests for demolition, new construction, major renovations, and signage in the Front Royal Historic District.

These guidelines are intended to assist property owners, business owners, contractors, developers, and citizens in making decisions that will affect the character of the district. They also provide a framework for the BAR to apply consistent standards when reviewing applications for Certificates of Appropriateness.

The BAR was created to safeguard the heritage of Front Royal by preserving buildings, neighborhoods, and places of historic and architectural significance. Its goal is to ensure that changes within the Historic District enhance, rather than diminish, its unique character.

AUTHORITY & LEGAL FRAMEWORK

The BAR's authority derives from Town Code §§175-82 – 175-98, consistent with Code of Virginia §15.2-2306. These Guidelines are used in conjunction with the Town's Zoning Ordinance and applicable building codes.

BOARD OF ARCHITECTURAL REVIEW

(insert current BAR membership list here — this can be updated annually by staff)

STAFF DIRECTORY

(insert staff directory here, with Planning & Zoning Department contact information and any preservation planner assigned to BAR support)

HISTORIC CHARACTER AND ITS IMPORTANCE IN FRONT ROYAL

In Front Royal, “historic character” refers to the qualities that give the Historic District its distinct identity. This includes the architectural forms, materials, craftsmanship, and streetscapes shaped by the Shenandoah Valley’s history and the Town’s growth from the 18th century onward.

KEY COMPONENTS OF HISTORIC CHARACTER

- Architectural Form and Style: Two-story brick commercial blocks, Victorian-era residences, vernacular cottages, and civic landmarks that embody the Town’s development as a railroad and river hub.
- Materials and Craftsmanship: Locally fired brick, Buckingham slate, limestone foundations, and painted wood siding that reflect both regional resources and traditional building practices.
- Setting and Context: Walkable Main Street blocks, the Town Gazebo, traditional lot patterns, and tree-lined streets that together create a cohesive historic landscape.
- Cultural Associations: Connections to the Civil War, the Shenandoah Valley’s commercial and industrial heritage, and the lives of families and businesses that shaped Front Royal’s identity.

WHY IT MATTERS IN FRONT ROYAL

Maintaining historic character:

- Reinforces Front Royal’s identity as a gateway to Skyline Drive and Shenandoah National Park.
- Attracts residents, businesses, and visitors who value authenticity and charm.
- Enhances economic vitality by supporting heritage tourism and protecting property values.
- Promotes sustainability by extending the life of existing buildings and reducing waste from demolition.
- Strengthens community pride and continuity by honoring Front Royal’s layered history.

Guiding Principles

Within Front Royal’s Historic District, all alterations, additions, and new construction shall protect and enhance historic character. This means that:

- Respecting Original Features: Historic materials, forms, and craftsmanship are to be preserved and maintained wherever feasible, with repair preferred over replacement.
- Compatibility Without Imitation: New work shall be compatible in scale, massing, rhythm, materials, and details, but remain distinguishable as construction of its own time rather than attempting to create a false sense of age.
- Contextual Design: Proposed changes shall reinforce established patterns of streetscapes, lot configurations, and architectural forms that define the district.
- Sustainability and Continuity: Interventions shall extend the useful life of historic buildings, support sustainable practices, and ensure that the historic district remains viable for future generations.
- Cultural and Economic Value: Preservation decisions shall recognize that the district's historic character is both a cultural resource and a driver of economic vitality through heritage tourism and reinvestment.

TABLE OF CONTENTS

1. Signs
2. Cornices & Roofing
3. Additions
4. Entrances, Porches & Doors
5. Windows
6. Masonry
7. Site Improvements
8. Wood
9. New Construction
10. Sustainability (New)
11. Accessibility (New)
12. Landscaping & Plantings (New)
13. Review Checklist
14. Map & Contacts

SIGNS

The sign standards in this chapter are in addition to Section 175-106 of the Town Code and require a Certificate of Appropriateness.

General Placement

Signs are an important part of commercial buildings in the Historic District. They provide identification, contribute to the character of the streetscape, and enhance the pedestrian experience. Signs should relate to the architecture of the building, fit within existing architectural features, and avoid obscuring details such as windows, cornices, or trim. On narrow streets like Main Street, projecting blade signs at the first-floor level are particularly effective for pedestrian visibility.

Standards:

- Signs shall be compatible with the building architecture and the streetscape.
- Signs shall not obscure windows, cornices, or other architectural features.
- Signs shall be placed for pedestrian visibility and shall not exceed 15 feet above sidewalk grade or the bottom of second-floor windows.
- Projecting blade signs at the first-floor level are encouraged on narrow pedestrian streets.
- [ADDED – Warrenton Integration] Primary signage shall be scaled for legibility at walking pace rather than designed primarily for vehicular traffic.

Size

Signs should be appropriately scaled to their building. Signs that are too large overwhelm facades and create visual clutter, while signs that are too small may not effectively serve their purpose. A balance of proportion and legibility is essential.

Standards:

- Signs shall be proportional to the facade on which they are mounted.
- Wall-mounted signs shall not exceed one square foot per linear foot of building width.
- [ADDED – Warrenton Integration] Projecting signs generally shall not exceed 12–16 square feet in area.

Color

The color of a sign is an important design element that should complement the architecture of the building and the historic streetscape. Muted, neutral, and earth tones are most compatible. Brighter tones can provide emphasis but should be used sparingly. Fluorescent or highly reflective colors detract from historic character and are not appropriate.

Standards:

- Sign colors shall be compatible with the building and surrounding context.
- Brighter colors may be used as accents but shall not dominate the design.
- [ADDED – Warrenton Integration] Fluorescent and highly reflective colors are prohibited.

Lighting

Lighting should illuminate the sign without overwhelming the building or streetscape. Fixtures should be appropriately scaled and designed to minimize glare. Historically compatible lighting methods such as gooseneck fixtures or concealed lighting are preferred. Internal plastic box signs are not appropriate in the Historic District.

Standards:

- Sign lighting shall be designed to minimize glare and light spill.
- Internally illuminated plastic box signs are prohibited.
- [ADDED – Warrenton Integration] External gooseneck fixtures or concealed LED lighting are encouraged; exposed raceways and oversized fixtures are not appropriate.

Materials

The choice of materials has a significant impact on how a sign contributes to the district. Durable, traditional materials such as painted wood, carved panels, and metal are preferred. Materials that appear temporary or inauthentic, such as vinyl or plastic, are not appropriate.

Standards:

- Signs shall be constructed of durable, high-quality materials.
- [ADDED – Warrenton Integration] Preferred materials include painted or carved wood, metal, or composites that emulate traditional craftsmanship.
- Plastic or vinyl signs are discouraged.

Quantity

Limiting the number of signs per establishment helps reduce visual clutter and maintains the legibility of each building's facade. Window signs can be effective but should remain secondary to primary building-mounted signs.

Standards:

- Each establishment shall be limited to no more than two permanent exterior signs.
- Temporary window signs shall not cover more than 25% of a window.
- [ADDED – Warrenton Integration] Window signs shall remain secondary to building-mounted identification.

Type of Signs

Not all sign types are appropriate for a historic district. Traditional sign types such as wall-mounted, projecting blade signs, and hand-painted designs reinforce historic character. Monument signs may be used where space allows, but pylon or pole signs are incompatible with the historic setting.

Standards:

- Wall-mounted or projecting signs are generally appropriate.
- Freestanding monument signs may be permitted only where a substantial yard area exists.
- Pylon or pole signs and interior-illuminated plastic box signs are prohibited.
- [ADDED – Warrenton Integration] Sandblasted wooden signs, hand-painted wall signs, and artistic blade signs are encouraged where appropriate.

Content

While the BAR does not regulate the content of messages, signs that contain obscene, offensive, or misleading material undermine the integrity of the Historic District. At the same time, creative sign messages can enliven the streetscape and reflect the individuality of businesses.

Standards:

- Signs with offensive, obscene, or misleading content are prohibited.
- Creative sign messages are encouraged, provided they remain legible and compatible with the historic district.

Certificate of Appropriateness

To maintain consistency, all permanent exterior signs require approval through the Certificate of Appropriateness process. This ensures that signs contribute to the district's historic character while meeting regulatory requirements.

Standards:

- All permanent exterior signs shall require a Certificate of Appropriateness.
- Staff may approve compliant signs administratively; nonconforming proposals shall be reviewed by the BAR.

CORNICES & ROOFING

Cornices define the junction between roof and exterior wall, while roofs protect the building from weather and are critical to preserving historic structures. Both are highly visible and contribute significantly to the district's character. Their maintenance and repair are essential to ensure architectural integrity.

Cornices

Cornices and trim are vulnerable to water infiltration but are also among the most distinctive architectural details of historic buildings. Maintaining and repairing these elements preserves historic character and prevents costly structural problems. Replacement should only occur when elements are too deteriorated to repair, and then only with in-kind materials and details based on evidence.

Standards:

- 229 • Cornices shall be kept well sealed and anchored; gutters and flashing shall be
230 maintained to prevent water intrusion.
- 231 • Cornices shall be repaired rather than replaced whenever feasible.
- 232 • Missing features such as brackets or blocks shall be replicated in-kind based on physical
233 or documentary evidence.
- 234 • Replacement cornices shall match original materials, profiles, and decorative details when
235 evidence exists.
- 236 • Replacement shall not convey a false historical appearance or introduce elements
237 inconsistent with the building's original style.

238

239 Roofing

240 Historic roofing materials such as slate, standing-seam metal, and wood shingles are character-
241 defining features. Their repair and maintenance prolong the life of the building and preserve
242 historic authenticity. Where replacement is unavoidable, historically appropriate materials shall
243 be used, or compatible alternatives considered. Roof-mounted equipment, skylights, and solar
244 panels should be located to minimize their visibility from the public right-of-way.

245 Standards:

- 246 • Character-defining roof elements such as chimneys, skylights, dormers, and light wells
247 shall be retained.
- 248 • When replacement is necessary, roofing shall match original materials where feasible
249 (e.g., slate, standing-seam metal, historically appropriate wood shingles).
- 250 • Metal roofing shall be painted (except copper, which may remain unfinished) using
251 primers appropriate to the metal type.
- 252 • Antennas, solar collectors, and mechanical equipment shall be placed on non-prominent
253 roof areas to minimize visibility.
- 254 • New elements such as skylights or additional stories shall not be visible on primary
255 elevations.
- 256 • [ADDED – Warrenton Integration] Artificial slate and high-quality standing seam metal
257 may be acceptable alternatives where original slate is beyond repair, provided flashing
258 and fasteners are verified before wholesale replacement.

259

ADDITIONS

Additions allow historic buildings to accommodate new uses and evolving needs while remaining viable over time. Well-designed additions should be subordinate to the original structure, compatible in scale and materials, and distinguishable as new construction. Poorly designed additions can overwhelm historic buildings, obscure original features, or create a false sense of history.

Location & Scale

Additions should be placed in locations that minimize their visibility from primary streets and should never visually dominate the original building. Rear or secondary elevations are preferred. When additions are visible, they should be designed under the same standards applied to new construction.

Standards:

- Additions shall be located on rear or secondary elevations whenever feasible.
- Additions shall be subordinate in size and scale to the original building.
- Additions placed on a primary elevation shall meet the standards for New Construction.

Design Compatibility

Additions should be compatible with the historic structure but remain distinguishable as new work. This ensures that the historic building retains its integrity while allowing for contemporary expression. Materials, roof forms, and details should complement but not replicate the original.

Standards:

- Additions shall be designed to be compatible in scale, massing, roof form, materials, and detailing.
- Additions shall not create a false historical appearance or introduce elements inconsistent with the original structure.
- Attachments shall be designed so that the essential form and integrity of the historic building would remain if the addition were removed (e.g., through offsets in wall planes or rooflines).

Use of Materials

The choice of materials in additions plays an important role in blending old and new. New materials may be introduced if they are compatible with historic fabric, but highly synthetic or temporary materials are not appropriate.

Standards:

- Additions shall use exterior materials that are compatible in appearance, scale, and finish with those of the historic building.
- New materials shall be of high quality and durable; imitative products that convey a false sense of history are not appropriate.

309

310 ENTRANCES, PORCHES & DOORS

311 Entrances and porches are often the most distinctive features of historic buildings, defining their
312 style and contributing to the rhythm of the streetscape. These elements also serve as focal points
313 for both residential and commercial architecture. Retaining original entrances and porches
314 preserves the character of the building and provides continuity within the district.

315

316 Maintenance & Repair

317 Regular inspection and maintenance of entrances, porches, and doors prevents deterioration and
318 protects the building envelope. Repairing original features is preferred to replacement, as
319 original details often cannot be replicated with modern materials.

320 Standards:

- 321 • Entrances, porches, and doors shall be inspected regularly for signs of deterioration,
322 including rust, peeling paint, rot, open joints, or failing putty and caulk.
- 323 • Damaged elements shall be repaired in-kind wherever possible.
- 324 • Original hardware and locks of historic significance shall be retained and reused
325 whenever feasible.

326

327 Replacement

328 Where deterioration is too severe for repair, replacement should match the original design as
329 closely as possible, using documentation or physical evidence. Inappropriate replacements can
330 erode historic character and diminish architectural integrity.

331 Standards:

- 332 • Entire porches or doors shall only be replaced when they are too deteriorated to repair.
- 333 • Replacement porches or doors shall match the original in design, materials, and details as
334 closely as possible based on evidence.
- 335 • Decorative elements inconsistent with the building's architectural style shall not be
336 introduced.

337

338 Alterations & Enclosures

Alterations to entrances and porches can significantly alter the character of a building. Enclosing porches may be appropriate on secondary elevations but generally compromises the appearance of primary façades. New primary entrances are rarely appropriate on principal elevations.

Standards:

- New primary entrances on principal elevations are prohibited unless clearly supported by historical evidence.
- Porches on primary elevations shall not be enclosed.
- Porch enclosures on secondary elevations may be permitted if they are designed to preserve the appearance and proportions of the original porch.

Storm & Screen Doors

Storm and screen doors can provide energy efficiency while preserving historic fabric if designed appropriately. Full-view storm doors are preferred because they allow the original door to remain visible. Colors and finishes should harmonize with adjacent trim or the primary door.

Standards:

- Storm and screen doors shall be painted or finished to match adjacent trim or the primary door.
- Full-view storm doors are encouraged.

Accessibility

Providing barrier-free access to historic buildings is important but must be balanced with preserving character-defining features. Accessibility improvements should be designed to be reversible and placed on secondary elevations whenever possible.

Standards:

- Accessibility features such as ramps or lifts shall be designed and located to minimize impact on character-defining entrances.
- Barrier-free access solutions shall be reversible whenever possible.
- [ADDED – Warrenton Integration] Permanent ramps or lifts shall be located on secondary elevations when practicable and designed to harmonize with building materials.

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379 WINDOWS

380 Windows are among the most important character-defining features of historic buildings. They
381 shape the proportions of facades, provide rhythm to the streetscape, and often embody
382 craftsmanship that cannot be replicated today. Retaining original windows preserves both the
383 architectural integrity of the building and the overall character of the district.

384

385 Maintenance & Repair

386 Historic windows are often constructed of old-growth wood that is more durable than modern
387 replacements. With regular maintenance—such as painting, glazing, and weather-stripping—
388 original windows can last indefinitely. Repairs are often more cost-effective and sustainable than
389 full replacement.

390 Standards:

- Original windows shall be retained and repaired whenever feasible.
- Windows shall be maintained in operable condition, with sound caulk, putty, and glazing.
- Repairs may include patching, splicing, consolidation, or in-kind replacement of deteriorated parts.

Replacement

Where windows are too deteriorated for repair, replacements should match the original in size, configuration, and materials. Inappropriate replacements can diminish the architectural integrity of the building. Non-original or modern windows that do not fit the building may be replaced with more compatible designs.

Standards:

- Replacement windows for historic structures shall match the original in material, profile, muntin/mullion dimension, and operation.
- Non-original windows may be replaced with context-appropriate designs (such as 2/2 or 2/1 sash where historically documented).
- Cutting new openings or blocking existing ones on primary elevations is prohibited.

Thermal Efficiency

Energy performance can be significantly improved without replacing original windows. Weather-stripping, storm windows, and interior shades offer effective solutions. Installing storm windows properly ensures they do not obscure or damage the original sash.

Standards:

- Windows shall be improved for thermal efficiency through methods such as weather-stripping, storm windows, and interior shades.
- Storm windows shall be installed so they do not obscure or damage historic sash, frames, or trim.
- Replacement for energy efficiency alone, without evidence of deterioration, is not appropriate.

Shutters

Shutters can enhance historic character where they are historically appropriate. They should be sized to match the opening, mounted on hinges, and appear operable. Inappropriate decorative shutters compromise authenticity.

Standards:

- Shutters shall only be used where evidence supports their historic use.
- Shutters shall be mounted on hinges and sized to cover the opening if closed.

Glass & Tinting

The type of glazing contributes significantly to the appearance of a window. Reflective or tinted glass alters the character of a façade and detracts from historic authenticity.

Standards:

- Glass in replacement windows shall be clear or lightly tinted to resemble traditional glazing.
- [ADDED – Warrenton Integration] Darkly tinted or mirrored glass is prohibited on primary elevations.

MASONRY

Masonry, including brick, stone, and stucco, is a defining material in the Historic District. The texture, color, and craftsmanship of historic masonry walls contribute significantly to the district's character. Proper maintenance ensures durability, while inappropriate cleaning or repairs can cause irreversible damage.

Maintenance & Cleaning

Most masonry problems result from water infiltration. Proper drainage and maintenance help prevent deterioration. Masonry should be cleaned only when necessary, using the gentlest means possible, as harsh cleaning methods can permanently damage surfaces. Waterproof coatings, including latex and oil based paints, and sandblasting are particularly destructive and should be avoided.

Standards:

- Masonry features such as walls, cornices, surrounds, steps, and columns shall be retained and preserved.
- Drainage around foundations and walls shall be maintained to prevent water accumulation.
- Waterproof or non-breathable coatings that trap moisture are prohibited.
- Cleaning masonry shall be undertaken only when necessary, using low-pressure water, mild detergents, and natural bristle brushes.
- Sandblasting, high-pressure washing, or harsh chemical cleaners are prohibited.

Repointing

Mortar joints are critical to the performance and appearance of masonry walls. Using the wrong mortar can accelerate deterioration of brick and stone. Repointing should use mortar that matches the historic material in strength, color, texture, and tooling. Hard, modern mortars such as portland cement-rich mixes can damage softer historic masonry.

Standards:

- Deteriorated mortar shall be removed carefully by hand tools to avoid damaging surrounding masonry.
- Replacement mortar shall duplicate the original in strength, composition, color, texture, and tooling.
- Mortar joints shall be cut to a depth of approximately twice the width of the joint or 1 inch before repointing.
- Lime-rich mortars are required for older brick; mortars harder than the historic masonry are prohibited.

Painting & Stucco

Unpainted masonry was historically intended to remain exposed. Painting or coating such surfaces can trap moisture and accelerate decay. Where masonry has already been painted, repainting with breathable finishes may be necessary. Stucco may be appropriate in limited cases if historically documented.

Standards:

- Unpainted masonry shall remain unpainted where feasible.
- Where previously painted, loose paint shall be removed by hand scraping to the next sound layer.
- Painted masonry shall be repainted with breathable masonry paint systems only after proper surface preparation and drying time.
- [ADDED – Warrenton Integration] Synthetic stucco systems may be considered only on a case-by-case basis and only where compatible with historic character.

SITE IMPROVEMENTS

Site improvements such as driveways, parking, walks, outbuildings, fences, and landscaping help define the setting of historic properties. These features contribute to the district's character and should be designed in a manner that complements historic buildings while minimizing visual impacts.

Driveways, Parking & Walks

The placement and design of driveways and parking areas can have a significant effect on historic character. Parking should not dominate the view of historic buildings, and historic paving materials should be preserved whenever possible. New paving should be compatible with traditional materials and avoid the appearance of large expanses of concrete.

Standards:

- Driveways are most appropriate on medium or large lots and shall be avoided where they visually dominate small or narrow lots.
- New parking areas shall be located to the sides or rears of buildings and shall be screened with landscaping or compatible walls/fences if visible.
- Historic paving materials such as brick, limestone, or patterned concrete shall be retained and repaired in-kind.
- New paving shall be compatible in color and texture with historic materials; large expanses of bright white or gray concrete are prohibited.
- Demolition of historic structures to create parking is prohibited.

Garages, Outbuildings & Site Features

Historic garages, sheds, and other site features are often overlooked but contribute to the overall setting. When new outbuildings are introduced, they should be subordinate in scale and compatible in materials, roof forms, and placement.

Standards:

- Historic outbuildings and significant site features shall be retained and preserved.

- 532 • New outbuildings shall be compatible in materials, roof slope, and scale with the primary
533 building.
- 534 • New outbuildings shall be located to the rear or behind the front center line of the house.
- 535 • The scale of new outbuildings shall not overpower the primary structure or lot.

536

537 Fences & Walls

538 Fences and walls define property boundaries, provide screening, and shape the streetscape.
539 Traditional materials such as brick, stucco, wood, and iron reinforce historic character, while chain-
540 link or concrete block walls detract from it. The design, placement, and height of fences should
541 respect prevailing patterns on the street.

542 Standards:

- 543 • Traditional fences, walls, and hedges shall be retained and preserved.
- 544 • Where replacement is necessary, fences and walls shall match original height, detail, and
545 materials.
- 546 • New fences and walls shall respect prevailing patterns on the street and shall not
547 introduce front yard fences where open yards predominate.
- 548 • Appropriate materials include brick, stucco, iron, wood, and hedges.
- 549 • Chain-link fences and concrete block walls are prohibited where visible from public ways.
- 550 • Fence and wall height shall be consistent with surrounding properties and zoning
551 requirements.
- 552 • Solid masonry walls that visually enclose open streetscapes are prohibited.
- 553 • All fences in the Historic District require a Certificate of Appropriateness and a zoning
554 permit.
- 555 • Larger retaining walls also require a building permit in addition to the Certificate of
556 Appropriateness and zoning permit.

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WOOD

571 Wood is one of the most common materials used in historic buildings for siding, trim, windows, and
572 decorative details. Its versatility and workability made it the material of choice for builders
573 throughout Front Royal's history. Regular maintenance is essential to protect wood from water
574 damage and pests, while repairs should prioritize retaining original material whenever possible.

575

576 Maintenance & Preparation

577 Wood requires routine care to remain durable. Proper painting, caulking, and drainage extend
578 its life, while poor maintenance can lead to rot and costly replacements. Surface preparation
579 should be gentle to avoid damaging historic fabric. Harsh methods such as sandblasting or power
580 washing destroy protective surfaces and accelerate deterioration.

Standards:

- Wood features shall be maintained free of water infiltration, pests, and vegetation.
- Paint and primer shall be maintained in sound condition to protect surfaces.
- Vegetation in contact with wood shall be removed, and joints prone to moisture infiltration shall be caulked with high-quality sealants.
- Surface preparation shall be limited to hand-scraping and sanding; destructive methods such as sandblasting, high-pressure washing, or open-flame burning are prohibited.
- Removal of paint to bare wood shall occur only where necessary to ensure adhesion of new paint.

Repair & Replacement

Historic wood can often be repaired using patching, splicing, or epoxy consolidation rather than full replacement. When replacement is unavoidable, new elements should match the original in material, profile, and detail. Modern substitute materials may be acceptable if they replicate historic appearance and proportions without creating a false sense of history.

Standards:

- Deteriorated wood elements shall be repaired using epoxies, dutchman patches, or in-kind replacement where feasible.
- Replacement of wood elements shall occur only where components are too deteriorated to repair.
- Replacement elements shall match the original material, design, dimensions, and details.
- [ADDED – Warrenton Integration] Modern composites or PVC may be considered on a case-by-case basis, provided they are visually compatible and replicate historic profiles.

NEW CONSTRUCTION

New buildings in the Historic District should enhance the character of their surroundings without imitating historic structures. They should be compatible in scale, massing, materials, and rhythm while remaining distinguishable as products of their own time. Successful new construction reinforces the historic streetscape and respects established patterns without resorting to mimicry.

Foundation & Materials

Foundations and exterior materials play an important role in visually grounding new construction within the historic district. Materials should reflect traditional character while being durable and high quality. Synthetic sidings often lack the scale and texture appropriate for historic settings.

Standards:

- Foundations of new buildings shall be differentiated using materials, patterns, or textures consistent with district context.
- Materials and textures shall be compatible with neighboring historic buildings.
- Brick and traditional wood siding are most appropriate for residential infill.
- On large facades, primary elevations shall be articulated into bays or planes, and varied materials, shades, or textures are encouraged.
- Vinyl, aluminum, and synthetic stucco finishes are prohibited on primary elevations.

Orientation, Height, Width & Massing

New construction should follow the established orientation and setbacks of the street. The height, width, and overall massing should reinforce the human scale and patterns of the district, avoiding

buildings that are either oversized or underwhelming. Roof forms should reflect those commonly found in the district.

Standards:

- New buildings shall follow the orientation and front setbacks of surrounding buildings.
- Height and width of new buildings shall be consistent with prevailing patterns on the street.
- New construction shall reinforce human scale through porches, storefronts, entrances, and decorative features.
- Roof forms shall reflect district patterns (e.g., hipped, gable, cross-gable, gambrel) with historically appropriate pitches.
- Flat or shallow-pitched roofs are generally prohibited in residential areas.

Roofing & Openings

Roofs and openings shape the visual rhythm of the streetscape. Traditional roofing materials such as metal or slate complement historic buildings, while inappropriate glazing can disrupt architectural coherence. Openings should follow established rhythms and proportions.

Standards:

- Roofs shall use traditional materials such as metal, slate, or darker textured asphalt designed to resemble slate or wood.
- Roof-mounted mechanical equipment shall be screened from public view with materials consistent with the building design.
- Windows and doors shall be proportioned and spaced consistent with surrounding historic buildings.
- Darkly tinted or mirrored glass on primary elevations is prohibited.
- Multi-paned windows, if used, shall be true divided lights or high-quality simulated divided lights with exterior muntins.

Porches

665 Porches are a traditional feature of residential architecture in Front Royal and contribute to the
666 pedestrian-friendly character of the district. Their inclusion in new residential buildings helps
667 reinforce continuity and rhythm.

668 Standards:

- 669 • Porches or analogous entry forms shall be incorporated into residential infill to reflect the
670 historic character of the district.

681 SUSTAINABILITY (NEW)

682 Sustainability practices can extend the useful life of historic buildings, reduce operating costs, and
683 improve comfort without compromising historic character. Thoughtful integration of energy-
684 efficient systems and materials supports environmental goals while preserving the cultural and
685 architectural integrity of the district.

Energy Efficiency

Improving energy performance in historic buildings is best achieved through sensitive retrofits that respect historic materials and features. Weather-stripping, insulation, and storm windows are often more effective and less intrusive than wholesale replacement of original elements.

Standards:

- Renovations and new construction shall incorporate energy-efficient measures where compatible with historic character.
- Historic features such as windows and doors shall not be replaced solely for energy efficiency; performance upgrades such as storm windows and weather-stripping are preferred.

Renewable Energy Systems

Solar panels and other renewable energy systems can support sustainability goals when carefully sited. Placement on less visible roof slopes or secondary elevations reduces visual impacts. Materials and finishes should minimize glare and blend with roof surfaces.

Standards:

- Solar panels and collectors shall be placed on non-character-defining roof planes, rear slopes, or secondary elevations wherever feasible.
- Frames and supports for solar installations shall be low-profile and non-reflective.
- Roof-mounted equipment shall be screened or placed to minimize visibility from public rights-of-way.

Materials & Resources

Using high-quality, durable, and responsibly sourced materials reduces long-term environmental impacts. Reuse of existing materials and incorporation of recycled products help preserve resources and maintain character.

Standards:

- Durable, long-lasting materials compatible with historic character shall be used for renovations and new construction.
- Use of reclaimed or recycled materials is encouraged when visually compatible with the district.

- Materials that create a false sense of history or compromise the durability of the building are prohibited.

ACCESSIBILITY (NEW)

Accessibility improvements allow historic buildings to remain usable and inclusive for all members of the community. While compliance with modern accessibility standards is essential, it must be achieved in a manner that respects and preserves character-defining features of historic structures.

General Approach

Accessibility can often be provided through reversible solutions that minimize alteration of historic fabric. When permanent modifications are necessary, they should be located and designed to reduce visual impacts on primary façades. Collaboration with preservation staff and code officials can help balance accessibility needs with preservation requirements.

Standards:

- Compliance with accessibility codes shall be achieved in a manner that preserves character-defining features.

- Accessibility solutions shall be designed to be reversible wherever feasible.
- Permanent ramps, lifts, or other accessibility features shall be located on secondary elevations whenever practicable.

Design of Ramps & Lifts

When ramps or lifts are required on historic buildings, their design should be simple, compatible, and constructed of durable materials. They should harmonize with the building's appearance without creating a false historic impression.

Standards:

- Ramps, lifts, and related elements shall be designed to harmonize with the building through appropriate use of materials and scale.
- Handrails, guards, and landings shall be simple in design and avoid faux-historic detailing.
- Barrier-free access features shall not obscure or damage character-defining features of entrances or porches.

LANDSCAPING & PLANTINGS (NEW)

Landscaping and plantings contribute to the overall character of the Historic District by shaping the setting, enhancing streetscapes, and framing historic buildings. Thoughtful design can strengthen continuity, preserve historic views, and maintain the sense of place that defines Front Royal's historic core.

Landscape Character

Front Royal's historic streetscapes are defined by mature trees, traditional lot patterns, and open front yards. Landscaping should enhance these qualities rather than obscure or compete with them. New plantings should be selected for their compatibility with historic settings and their ability to reinforce the district's character.

Standards:

- Landscaping shall complement the historic character of the property and district.
- Landscaping shall not obscure primary façades or character-defining features.
- Mature trees and historically significant plantings shall be preserved whenever possible.
- Replacement plantings shall use appropriate canopy trees and species compatible with the historic setting.

Plant Selection

Plant species should be chosen with attention to historical precedent, climate adaptability, and long-term sustainability. Invasive or inappropriate species can disrupt both the ecological balance and the historic character of the district.

Standards:

- Plant species shall be native or historically appropriate to the region.
- Invasive species are prohibited.
- Decorative plantings shall be designed to complement rather than compete with historic architecture.

Fences & Walls

Fences and walls are integral landscape features that define property boundaries and frame historic buildings. Their design and materials should follow established patterns and avoid introducing incompatible modern types.

Standards:

- Fences and walls shall be consistent with the district's fence and wall standards.
- Chain-link fencing is prohibited where visible from public rights-of-way.
- Fence and wall designs shall respect prevailing patterns in height, transparency, and material.

REVIEW CHECKLIST

The Review Checklist provides criteria for evaluating applications for Certificates of Appropriateness. These considerations help ensure that proposed changes are consistent with the historic character of the district while allowing for necessary evolution and adaptation.

Evaluation Criteria

When reviewing applications, the BAR will evaluate proposals based on their impact on historic character, architectural integrity, and compatibility with surrounding properties. The checklist provides a structured approach for decision-making and ensures consistency across reviews.

The BAR will consider the following:

- The historic and architectural value and significance of the structure and its relationship to surrounding buildings.
- The age, character, condition, and expected life of the structure, as well as the appropriateness of proposed changes to its period(s) of significance.
- The compatibility of the site plan, exterior design, arrangement, textures, and materials with the district.
- The views from public streets and ways, present and future.
- The character of the setting and surroundings of the property.
- The probable effects of the proposal on trees, wooded areas, or historic sites.
- The other pertinent factors, including aesthetic compatibility.
- The appropriateness of exterior features with respect to design, form, proportion, scale, mass, and configuration.

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840 Guiding Standards

841 In addition to local criteria, the BAR is guided by the Secretary of the Interior's Standards for
842 Rehabilitation. These ensure consistency with best practices and prevent imposition of arbitrary
843 design preferences.

844 Standards:

- 845 • The BAR shall be guided by the Secretary of the Interior's Standards for Rehabilitation in
846 all reviews.
- 847 • The BAR shall not impose or require adherence to any specific architectural style.

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857 MAP & CONTACTS

Maps and contact information are included to assist property owners, architects, and contractors in navigating the Certificate of Appropriateness process. While maps provide a visual reference for the boundaries of the Historic District, contact details connect applicants with local and state resources for technical assistance and regulatory guidance.

Map

The Historic District map illustrates the boundaries within which these guidelines apply. The map should be consulted by property owners and applicants early in the planning process to confirm whether a project falls within the review area.

Standards:

- A current map of the Historic District shall be included in the published guidelines.
- The map shall be maintained by the Department of Planning & Zoning and updated as necessary to reflect district boundary changes.

Contacts

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