



## SPECIAL TOWN COUNCIL MEETING

Wednesday, February 19, 2020 @ 7:00pm  
Warren County Government Center

1. Pledge of Allegiance
2. Moment of Silence
3. Appoint Temporary Clerk - *I move that Town Council appoint and recognize Tina Presley as Clerk of the Front Royal Town Council pro tempore for the meeting of Front Royal Town Council on February 19, 2020 Special Meeting and Work Session; and for such additional and further meetings and times that are a continuation of the February 19, 2020 meetings at his/her services such as Clerk pro tempore may be needed.*
4. Roll Call – by Clerk of Council Pro Tempore for Town Council and Planning Commission
5. **JOINT PUBLIC HEARING WITH PLANNING COMMISSION** – Request for a Special Use Permit Application submitted by Melody Sheppard, on behalf of Warren County Public Schools for the installation of a Temporary Modular Classroom at A.S Rhodes Elementary School located at 224 W. Strasburg Road, to be used during the current renovation project.
6. Adjournment

10 – 15 Minute Recess to allow for changing of rooms

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### **TOWN COUNCIL WORK SESSION** *immediately following Special Meeting*

1. Update on CDBG – *Interim Town Manager*
2. Advertisement of 2020 Real Estate and Personal Property Tax Rate - *Director of Finance/Interim Town Manager*
3. Volunteers for Scholarship Committee – *Interim Town Manager*

5

## SPECIAL MEETING – JOINT PUBLIC HEARING



### Town of Front Royal, Virginia Council Agenda Statement Meeting Date: February 10, 2020

Item # 5

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**Agenda Item:**     **JOINT PUBLIC HEARING** – Special Use Permit for Installation of a Temporary Modular Classroom at A.S. Rhodes Elementary School

**Summary:**     Council is requested to approve a Special Use Permit submitted by Melody Sheppard, on behalf of the property owner, Warren County Public Schools, for the installation of a Temporary Modular Classroom at A.S. Rhodes Elementary School, located at 224 W. Strasburg Road (*Tax Map #20A1-14-15*) . The location of the property is within the R-3 Zoning District, that requires a Special Use Permit for temporary classrooms, pursuant to Town Code 175-109.1.A. The application includes a preliminary site plan showing the temporary classroom being placed on the existing paved play area to be used during the current renovation project, as well as improvements to the grounds of the property.

**Budget/Funding:**     None

**Attachments:** Staff Report, Applications, Site Plan

**Meetings:** None

**Staff**

**Recommendation:**   Approval\_\_\_\_\_ Denial\_\_\_\_\_

**Proposed Motion:** I move that Council approve a Special Use Permit submitted by Melody Sheppard, on behalf of Warren County Public Schools, for the installation of a Temporary Modular Classroom at A.S. Rhodes Elementary School, located at 224 W. Strasburg Road (*Tax Map #20A1-14-15*) to be placed on the existing paved play area and to be used during the current renovation project.

\*Note: Motions are the formal & final proposal of Council,  
proposed motions are offered by Staff for guidance

\*To be clear and concise, motions should be made in the positive

Approved By: \_\_\_\_\_

**TOWN OF FRONT ROYAL**  
**DEPARTMENT OF PLANNING & ZONING**



**STAFF REPORT FOR THE FEBRUARY 19, 2020**  
**JOINT TOWN COUNCIL AND PLANNING COMMISSION MEETING**

**APPLICATION #:**

FRSPU-001801-2020 / FRSITE-001776-2019

**APPLICANT:**

Warren County Public Schools  
(Melody Sheppard, Assistant Superintendent)

**SUMMARY OF REQUEST:**

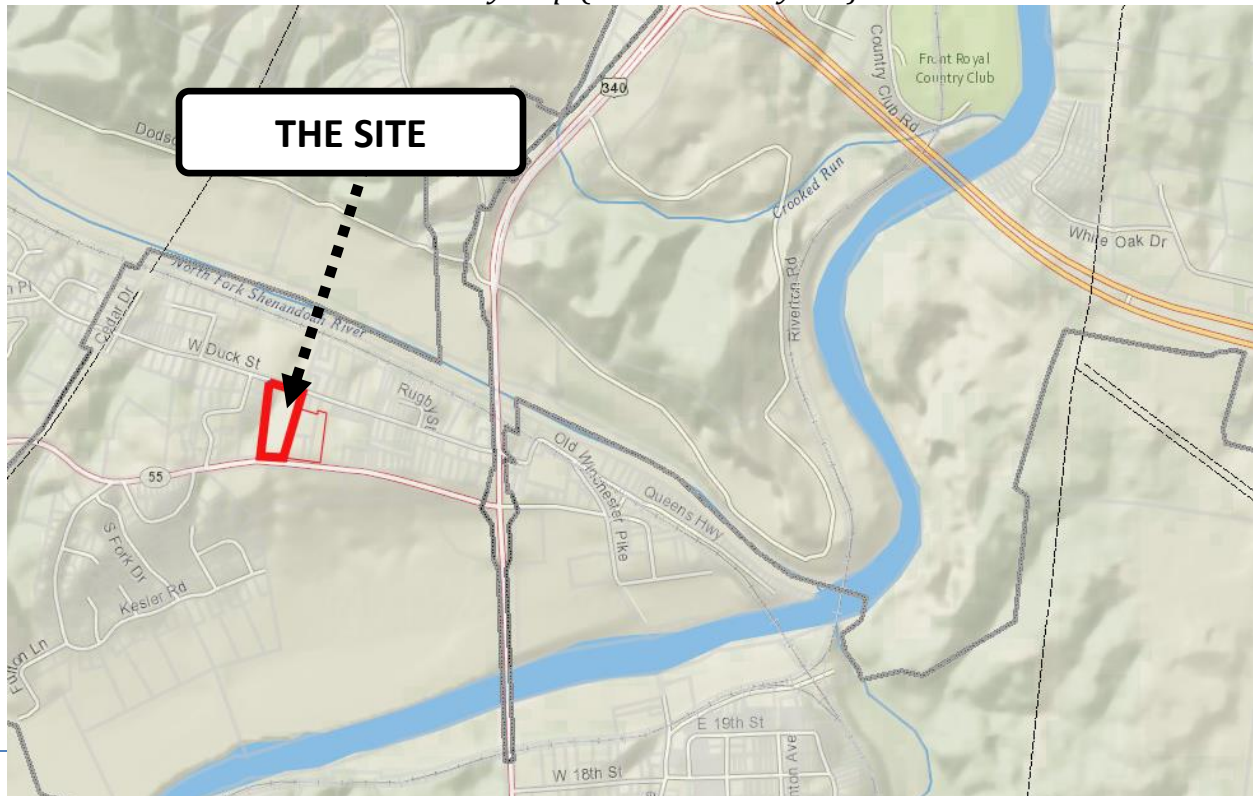
A request to construct a temporary modular classroom on the existing paved play area to be used during the renovation of the main school building.

**[See attached applications and site plan]**

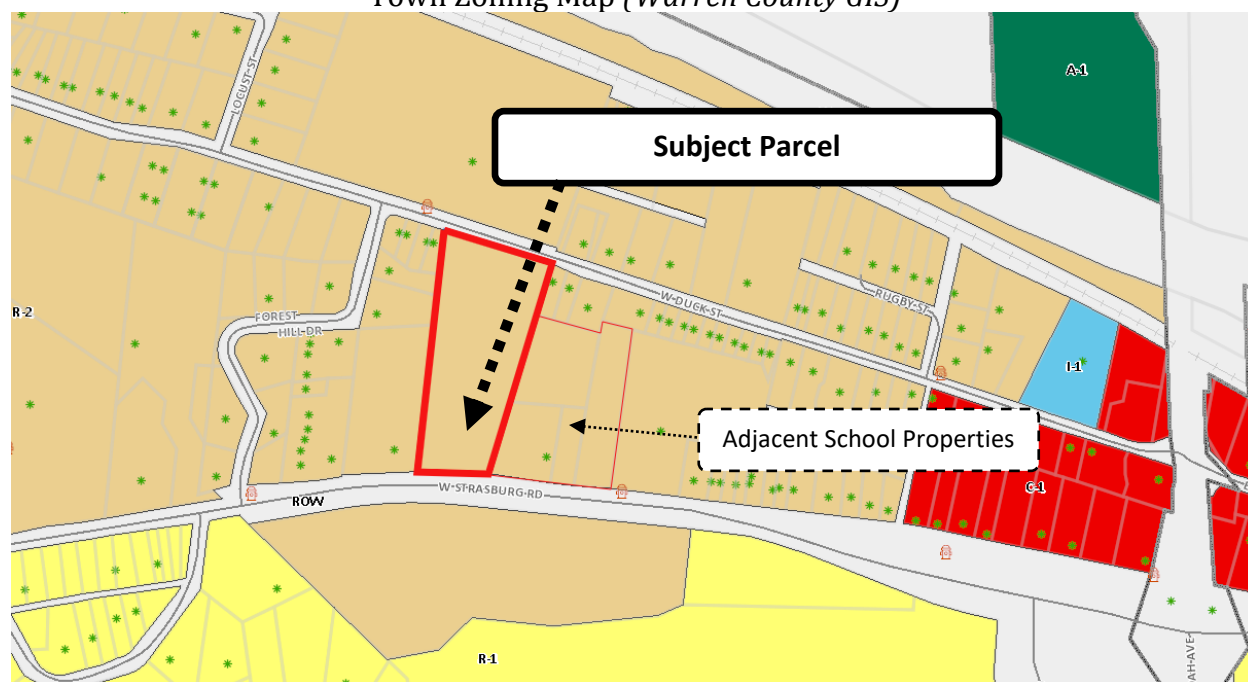
**GENERAL INFORMATION:**

|                           |                                                                                                                                                                                                                                         |
|---------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <i>Site Addresses</i>     | 224 West Strasburg Road                                                                                                                                                                                                                 |
| <i>Property Owner(s)</i>  | "Warren County School" (Warren County Public Schools)                                                                                                                                                                                   |
| <i>Existing Zoning</i>    | R-2 District                                                                                                                                                                                                                            |
| <i>Proposed Use</i>       | Temporary Classroom                                                                                                                                                                                                                     |
| <i>Tax Identification</i> | 20A114 15                                                                                                                                                                                                                               |
| <i>Location</i>           | The proposed temporary classroom would be located on the existing play area to the west of A.S. Rhodes Elementary School, located on the north side of W Strasburg Road, approximately .4 miles past the intersection with Rt. 522/340. |

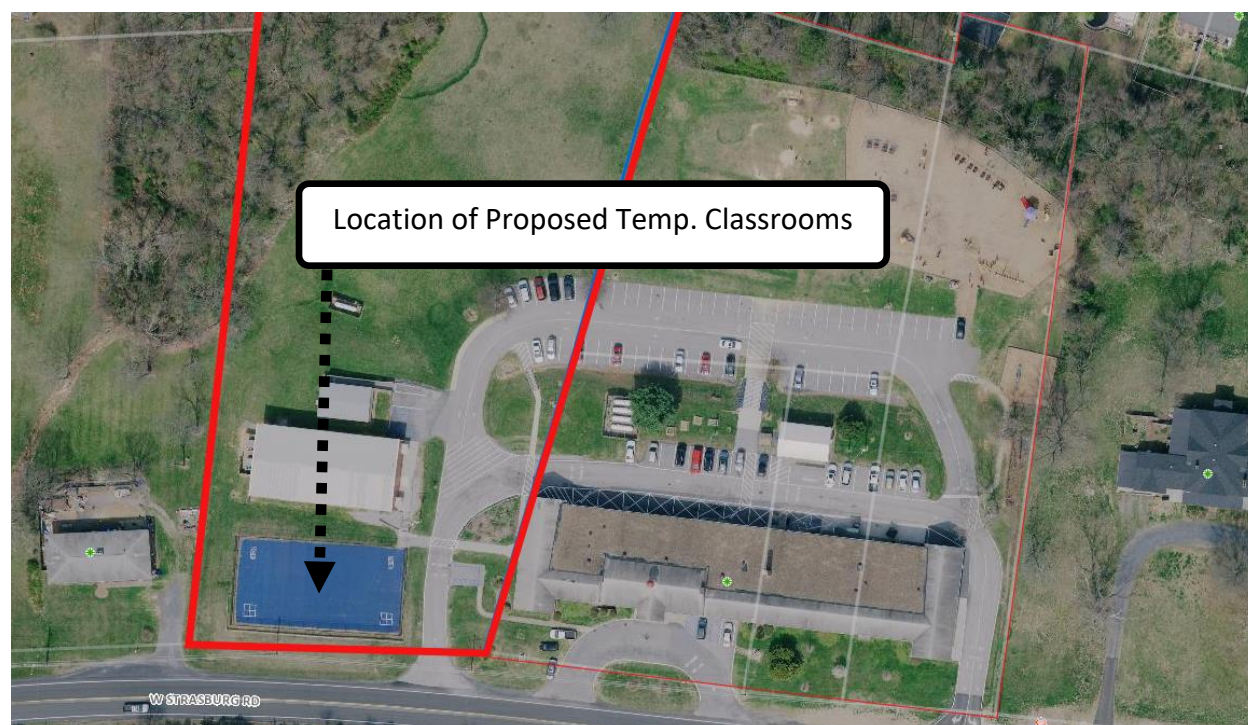
*Vicinity Map (Warren County GIS)*



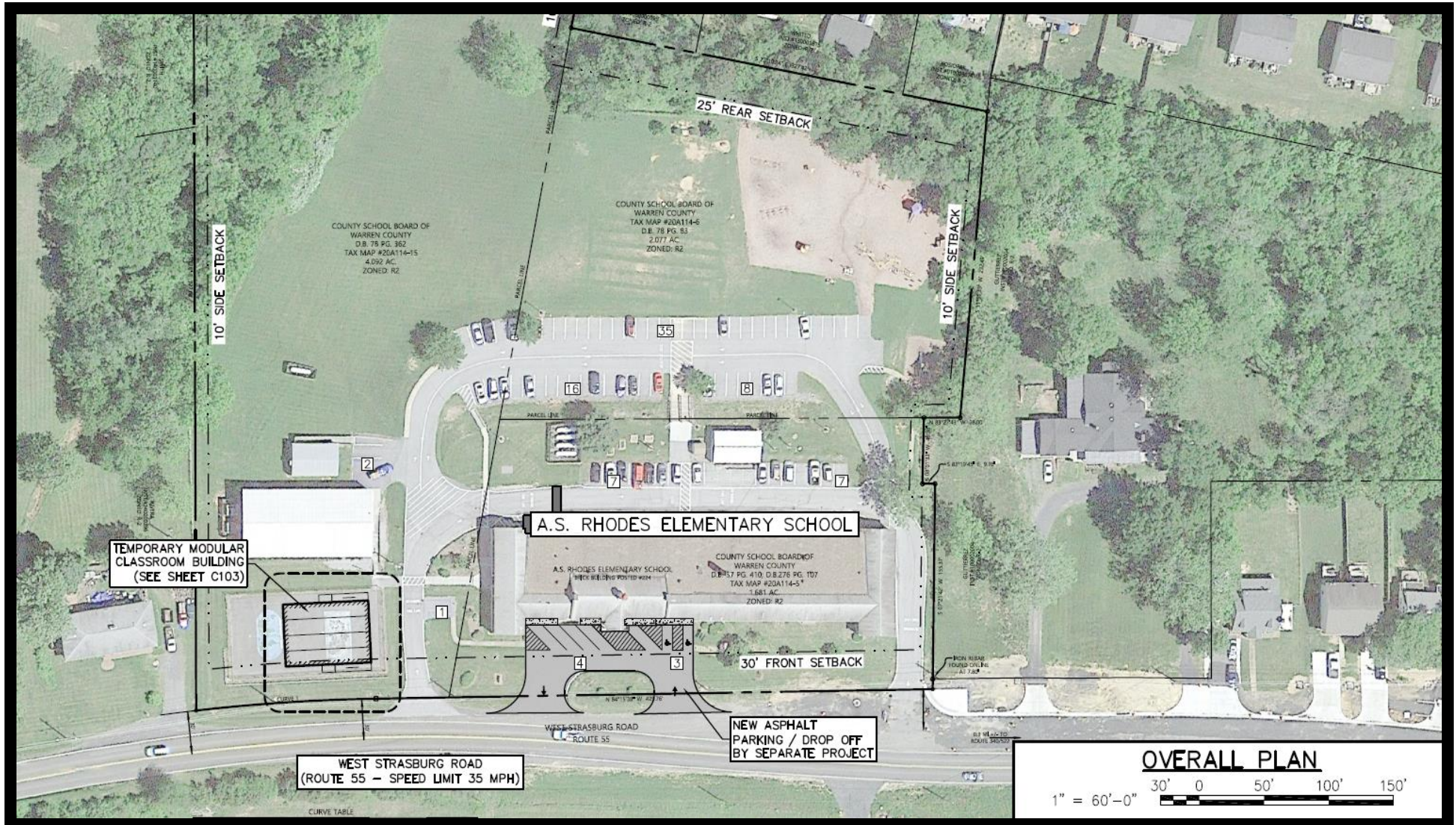
Town Zoning Map (Warren County GIS)



Aerial (Warren County GIS)



# ILLUSTRATION FROM SITE PLAN



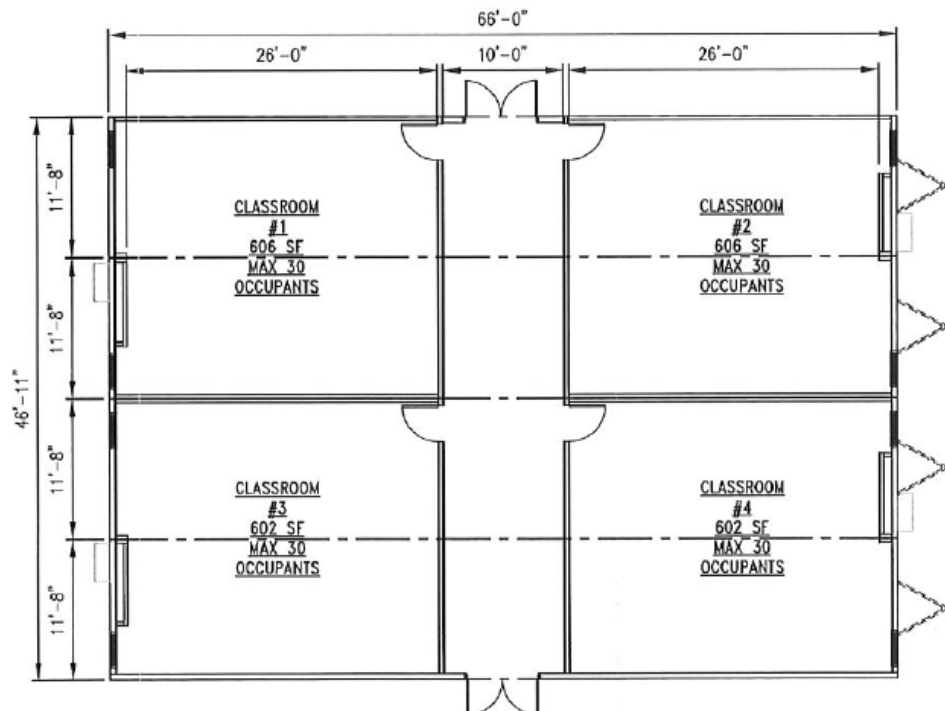
## INFORMATION ON THE APPLICATION:

### *Project Summary*

Town Code 175-109.1 Authorizes the Town to issue special use permits in any zoning district for certain nonresidential trailers or manufactured housing used by hospitals, schools, churches, institutions, nursing homes, public utilities, or industrial facilities. The following Town Code rules apply to such special use permits (if granted):

- May only be issued for 1-year, with the ability for an extension for up to 1 additional year.
- The underlying use must be permitted on the property.
- The modular/manufactured building must be placed and anchored on a foundation appropriate for a 2-year duration if used for more than 6 months.
- Foundations are required to be skirted.
- The SUP shall specify the event or solution that will terminate the need for the modular/manufactured building.
- In assessing the application, the Town shall consider: 1. The effect on surrounding properties. 2. The effect on community appearance. 3. The stated need for a temporary facility, and the availability of alternative solutions. 4. Traffic and safety factors. 5. Such additional factors as may apply to the site, and the particulars of the application.

The floorplan of the proposed modular classroom is illustrated below from the submitted site plan application.



The modular classroom is only proposed to be approximately 27 feet from the front property line. The minimum front yard setback in the R-2 District is 30 feet. However, in consultation with the Town Attorney, the reduced setback can be allowed as a temporary classroom under the provisions of Town Code 175-109.1, in lieu of needing a variance.

## *Special Use Permits*

The site applications have been reviewed by Town review agencies and no adverse comments were provided. The classrooms will not include water or sewer service. Bathrooms will be utilized from the main school during the renovations.

The Town is authorized to require a special use permit for certain uses within any zoning district under Virginia Code §15.2-2286. Some specific uses are granted protection from regulation from localities by the Virginia Code, including agriculture uses, small scale conversion of biomass to alternative fuel, certain residential uses, private tents, farm wineries, assisted living facilities, and group homes.

The issuance of a special use permit is subject to such conditions as are deemed necessary by the Front Royal Town Council after recommendations of the Front Royal Planning Commission. Prior to an action by Town Council or a recommendation by the Planning Commission, a **public hearing** is required for special use permits.

## *Conclusion*

Town Staff recommends that the Planning Commission issue a recommendation of approval of the Special Use Permit Application with the following conditions. Furthermore, Town Staff recommends approval of the site plan application for the new temporary building. Additional consideration may need to be given if new information is provided at the scheduled public hearing.

### CONDITIONS:

- 1) This Special Use Permit is authorized to allow the temporary use of a modular classroom at A.S. Rhodes Elementary School at 224 W. Strasburg Road.
- 2) This Special Use Permit shall only be valid for 1 year from the date of approval by Town Council. Town Council may authorize an extension of this permit for 1 additional year if requested by the Applicant before expiration.
- 3) The foundation of the posed modular classroom shall be skirted.
- 4) The modular classroom shall be removed within 30 days from expiration of this permit, or within 30 days from completion of the renovations to A.S. Elementary School, whichever occurs first.
- 5) Town Council, or other designated representative, may inspect the property at any reasonable time to ensure compliance with local regulations, including, but not limited to, the conditions placed on this special use permit. Upon inspection of the property, if it is found that the property is not in compliance with local regulations, including but not limited to, the conditions of this special use permit, the Town may revoke this special use permit after notice to the applicant and public hearing.

ATTACHMENTS: Applications and Site Plan



## TOWN OF FRONT ROYAL

DEPARTMENT OF PLANNING & ZONING  
102 EAST MAIN STREET  
P.O. BOX 1560  
FRONT ROYAL, VA 22630

Main: 540.635.4236

Fax: 540.631.2727

Internet: [www.frontroyalva.com](http://www.frontroyalva.com)

ERS PU-001801-2020  
SEP

### SPECIAL USE PERMIT REQUEST

**APPLICANT** Warren County Public Schools

NAME Melody Sheppard, Assistant Superintendent PHONE 540-635-2171

ADDRESS 210 North Commerce Avenue, Front Royal, VA 22630

E-MAIL msheppard@wcps.k12.va.us

#### PROPERTY DESCRIPTION

PROPERTY ADDRESS 224 West Strasburg Road, Front Royal, VA 22630

TAX MAP N/A SECTION N/A BLOCK N/A LOT N/A

SUBDIVISION NAME N/A ACREAGE 7.85 ac (Total)

#### REQUEST

ZONING DISTRICT R-2 Residential

PROPOSED USE OF PROPERTY School

SPECIFIC SPECIAL USE PERMIT REQUEST \_\_\_\_\_

To install a temporary modular classroom on the existing paved play area at A.S.

Rhodes Elementary School to be used during the current renovation-construction project.

**ATTACHMENTS** --The following must be submitted with the application. Additional information may be required depending on the nature of the request.

1. Survey/Plat of property showing all **existing** improvements.  
(10 copies if larger than 11" X 17")
2. Site Plan Application
3. Application Fee of \$400.00 (Checks payable to the Town of Front Royal)
4. Additional information as required by the Department of Planning & Zoning

#### CERTIFICATION

I certify that the information provided with this application is correct to the best of my knowledge and should the special use permit be granted, the project will comply with the conditions imposed upon it and will be implemented only as approved by Town Council.

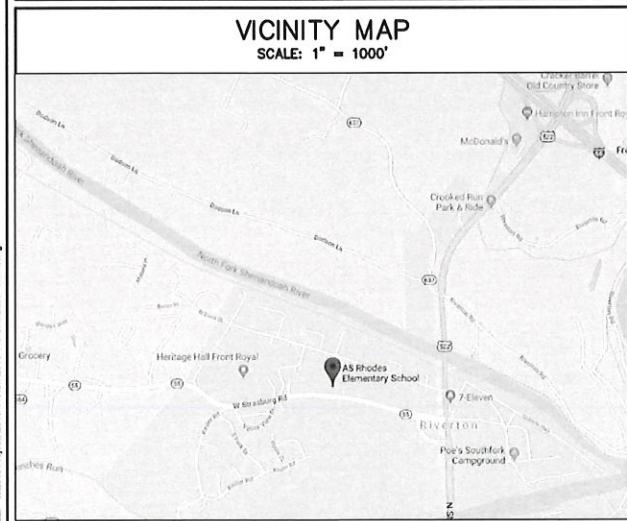
Signature Melody Sheppard Date 01/02/2020

By submitting this application, the applicant grants permission to Town officials and employees to enter upon the property, which is the subject of this application, during reasonable hours and for purposes related to the application process.

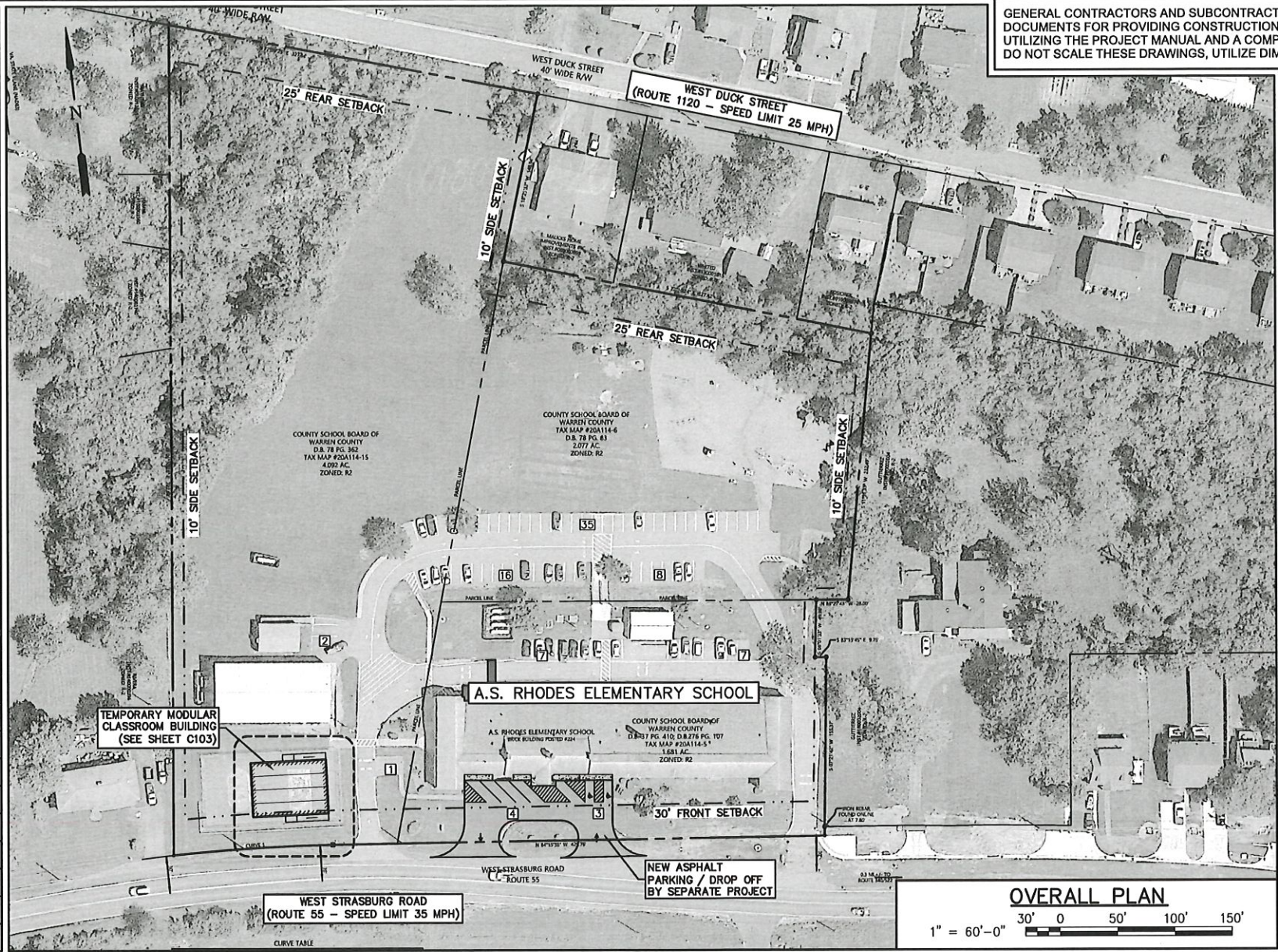
Receipt # \_\_\_\_\_ Date Paid \_\_\_\_\_

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DRAWING FILE: J:\2018 Projects\2018-140\CH0101-140 Civil Base - Rev1.dwg  
PLOTTED ON: 12/10/2019 10:36:37 AM

| LEGEND       |      |        |                           |
|--------------|------|--------|---------------------------|
| EXISTING     | DEMO | NEW    | DESCRIPTION               |
| --- 2050 --- |      | 2050   | CONTOURS                  |
|              |      | 112.00 | SPOT ELEVATIONS           |
|              |      |        | CONCRETE CURB             |
|              |      |        | CONCRETE CURB & GUTTER    |
|              |      |        | CONCRETE PAD/WALK         |
|              |      |        | PAVEMENT                  |
|              |      |        | BUILDING                  |
| X X          | X X  | X X    | FENCING                   |
| ---          | ---  | ---    | PROPERTY LINE             |
|              |      |        | CENTERLINE OR BASELINE    |
|              |      |        | BENCHMARK                 |
| SD           | SD   | SD     | STORM SEWER LINE          |
|              |      |        | CURB INLET                |
|              |      |        | DROP INLET                |
|              |      |        | END SECTION / END WALL    |
|              |      |        | MANHOLE                   |
| OHE          | OHE  | OHE    | ELECTRIC - OVERHEAD       |
| UGE          | UGE  | UGE    | ELECTRIC - UNDERGROUND    |
| UGT          | UGT  | UGT    | TELEPHONE - UNDERGROUND   |
| FO           | FO   | FO     | FIBER OPTIC - UNDERGROUND |
| G            | G    | G      | GAS LINE                  |
| M            | M    | M      | GAS METER                 |
| SS           | SS   | SS     | SANITARY SEWER            |
|              |      | CO     | CLEANOUT                  |
| W            | W    | W      | WATER LINE                |
|              |      |        | GATE VALVE                |
|              |      |        | WATER METER               |
|              |      |        | FIRE HYDRANT              |
|              |      |        | HANDICAP PARKING          |
|              |      |        | TREE LINE                 |
|              |      |        | SIGNS                     |



| SHEET INDEX |                      |
|-------------|----------------------|
| C101        | OVERALL SITE PLAN    |
| C102        | EXISTING LAND SURVEY |
| C103        | SITE PLAN            |



| SURVEY INFORMATION |                                                                                                                                                                          |
|--------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.                 | THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF PRESTON M. HUMPHREYS, LS #3232 FROM AN ACTUAL GROUND SURVEY MADE UNDER HIS SUPERVISION. |
| 2.                 | THE ORIGINAL DATA WAS OBTAINED ON FEBRUARY 27, 2019 & DECEMBER 4, 2019.                                                                                                  |
| 3.                 | THE SURVEY INFORMATION SHOWN HEREON MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.                                                                             |
| 4.                 | VERTICAL DATUM: NAVD88                                                                                                                                                   |
| 5.                 | CONTOUR INTERVAL: ONE FOOT                                                                                                                                               |
| 6.                 | CURRENT OWNER: COUNTY SCHOOL BOARD OF WARREN COUNTY AS SHOWN IN DEED BOOK 37 PAGE 410, DEED BOOK 78 PAGE 83, DEED BOOK 78 PAGE 362 AND DEED BOOK 276 PAGE 107.           |
| 7.                 | THE LAND BOUNDARY SHOWN HEREON IS BASED ON A FIELD SURVEY                                                                                                                |
| 8.                 | NO TITLE REPORT WAS FURNISHED FOR THIS SURVEY. THIS PROPERTY IS SUBJECT TO ANY ADDITIONAL EASEMENTS THAT MAY NOT BE SHOWN HEREON.                                        |
| 9.                 | TAX MAP #S: 20A114-5, 20A114-6, 20A114-15                                                                                                                                |
| 10.                | TOTAL SITE AREA = 7.850 ACRES                                                                                                                                            |

GENERAL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO PROCURE A FULL SET OF CONSTRUCTION DOCUMENTS FOR PROVIDING CONSTRUCTION SERVICES AND PRICING. THIS PROJECT DESIGN IS COMMUNICATED UTILIZING THE PROJECT MANUAL AND A COMPLETE SET OF DRAWINGS AS IDENTIFIED IN THE INDEX OF DRAWINGS. DO NOT SCALE THESE DRAWINGS, UTILIZE DIMENSIONS GIVEN.

| GENERAL NOTES          |                                                                                                                                                                                                       |
|------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. OWNER:              | WARREN COUNTY PUBLIC SCHOOLS<br>210 NORTH COMMERCE AVE.<br>FRONT ROYAL, VA 22630<br>(540) 635-2171 FAX (540) 636-4195                                                                                 |
| 2. ARCHITECT/ENGINEER: | OWPR, INC.<br>200 COUNTRY CLUB DRIVE<br>PLAZA ONE, BUILDING "E"<br>BLACKSBURG, VA 24060<br>(540) 552-2151 FAX (540) 951-0219                                                                          |
| 3. PROJECT LOCATION:   | A.S. RHODES ELEMENTARY SCHOOL<br>224 WEST STRASBURG RD.<br>FRONT ROYAL, VA 22630<br>(540) 635-4556                                                                                                    |
| 4.                     | CONTRACTOR SHALL HAVE A LICENSED LAND SURVEYOR RESET ANY BENCHMARK DISTURBED DURING CONSTRUCTION AND SHALL NOTE THE NEW LOCATION AND ELEVATION ON THE AS-BUILT DRAWINGS.                              |
| 5.                     | ALL EXISTING SITE FEATURES TO REMAIN THAT ARE DAMAGED AS A RESULT OF THE CONTRACTOR'S ACTIONS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE ARCHITECT/ENGINEER AT NO ADDITIONAL COST TO THE OWNER. |
| 6.                     | ALL WORK IN THE RIGHT OF WAY SHALL BE INSPECTED BY THE TOWN'S ENGINEERING DIVISION. THE CONTRACTOR SHALL CONTACT THE ENGINEERING DIVISION FOR INSPECTION REQUIREMENTS.                                |

| ZONING INFORMATION                          |                                                                                                                                                                                                                |
|---------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. PARCEL ID:                               | 20A114-5, 20A114-6, 20A114-15                                                                                                                                                                                  |
| 2. ZONING:                                  | R-2 (RESIDENTIAL DISTRICT)                                                                                                                                                                                     |
| 3. PERMITTED USE:                           | SCHOOL                                                                                                                                                                                                         |
| 4. BUILDING AREAS:                          | EXISTING MAIN BUILDING: 150,750 SF<br>TEMPORARY MODULAR CLASSROOM: 3,100 SF                                                                                                                                    |
| 5. SITE AREAS:                              | TOTAL SITE AREA: +/- 7.85 AC<br>TOTAL DISTURBED AREA: +/- 0.00 AC                                                                                                                                              |
| 6. YARD SETBACKS:                           | FRONT YARD: 30 FEET<br>SIDE YARD: 10 FEET<br>REAR YARD: 25 FEET                                                                                                                                                |
| 7. BUILDING HEIGHT:                         | MAXIMUM BUILDING HEIGHT: 35 FEET                                                                                                                                                                               |
| 8. LOT COVERAGE:                            | MAXIMUM IMPERVIOUS AREA: 35%                                                                                                                                                                                   |
| 9. PARKING REQUIREMENT (ELEMENTARY SCHOOL): | 1 SPACE PER EMPLOYEE + 1 SPACE PER 100 SF OF AUDITORIUM SPACE.<br>APPROXIMATELY 30 EMPLOYEES + 0 (NO AUDITORIUM)<br>30 SPACES REQUIRED<br>83 SPACES PROVIDED<br>4 ADA SPACES REQUIRED<br>4 ADA SPACES PROVIDED |

| APPROVAL BLOCK                                    |      |
|---------------------------------------------------|------|
| ALL TOWN REAL ESTATE TAXES HAVE BEEN PAID IN FULL |      |
| DIRECTOR OF FINANCE                               | DATE |
| REVIEWED AND APPROVED BY THE TOWN OF FRONT ROYAL  |      |
| DIRECTOR OF PLANNING & ZONING                     | DATE |
| TOWN MANAGER                                      | DATE |
| DIRECTOR OF PUBLIC WORKS                          | DATE |
| DIRECTOR OF ENERGY SERVICES                       | DATE |

| NO.       | DESCRIPTION | DATE |
|-----------|-------------|------|
| REVISIONS |             |      |

COMMUNITY OF FRONT ROYAL  
WILLIAM A. SHELTON  
Lic. No. 031651  
12/10/19  
PROFESSIONAL ENGINEER

200 Country Club Dr. SW  
Plaza One - Building E  
Blacksburg, Virginia 24060  
P: 540-552-2151  
F: 540-951-0219

5550 Winchester Avenue  
Suite 100 - Business Park  
Martinsburg, WV 25401  
P: 304-381-5541  
www.owpr.com

**OWPR**  
ARCHITECTS AND ENGINEERS

A.S. RHODES ELEMENTARY SCHOOL  
TEMPORARY MODULAR CLASSROOMS  
WARREN COUNTY PUBLIC SCHOOLS

VIRGINIA  
FRONT ROYAL

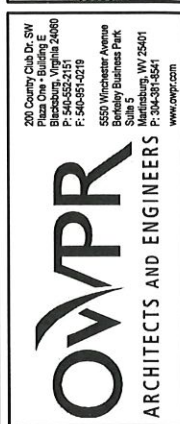
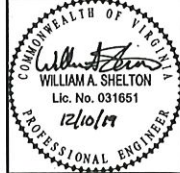
COMM. NO.  
2018-140  
Date  
10 DEC 19

WAS  
Designed  
WAS  
Drawn  
BTL  
Checked  
RSJ  
Approved

OVERALL SITE PLAN

C101

GENERAL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO PROCURE A FULL SET OF CONSTRUCTION DOCUMENTS FOR PROVIDING CONSTRUCTION SERVICES AND PRICING. THIS PROJECT DESIGN IS COMMUNICATED UTILIZING THE PROJECT MANUAL AND A COMPLETE SET OF DRAWINGS AS IDENTIFIED IN THE INDEX OF DRAWINGS. DO NOT SCALE THESE DRAWINGS, UTILIZE DIMENSIONS GIVEN.



A.S. RHODES ELEMENTARY SCHOOL  
TEMPORARY MODULAR CLASSROOMS  
WARREN COUNTY PUBLIC SCHOOLS  
FRONT ROYAL, VIRGINIA

COMM. NO. 2018-140  
Date 10 DEC 19

Designed WAS  
Drawn WAS  
Checked BTL  
Approved RSJ

EXISTING LAND SURVEY  
C102

**TOPOGRAPHIC NOTE:**  
THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF PRESTON M. HUMPHREYS, LS #3232 FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE ORIGINAL DATA WAS OBTAINED ON FEBRUARY 27, 2019 & DECEMBER 4, 2019; AND THAT THIS PLAT MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.  
VERTICAL DATUM: NAVD88  
CONTOUR INTERVAL: ONE FOOT

- NOTES:**
1. CURRENT OWNER: COUNTY SCHOOL BOARD OF WARREN COUNTY AS SHOWN IN DEED BOOK 37 PAGE 410, DEED BOOK 78 PAGE 83, DEED BOOK 78 PAGE 362 AND DEED BOOK 276 PAGE 107.
  2. THE LAND BOUNDARY SHOWN HEREON IS BASED ON A FIELD SURVEY.
  3. NO TITLE REPORT WAS FURNISHED FOR THIS SURVEY. THIS PROPERTY IS SUBJECT TO ANY ADDITIONAL EASEMENTS THAT MAY NOT BE SHOWN HEREON.
  4. TAX MAP #'S: 20A114-5, 20A114-6, 20A114-15
  5. TOTAL SITE AREA = 7.850 ACRES

**TOPOGRAPHIC SURVEY**  
**A.S. RHODES ELEMENTARY SCHOOL**  
224 W. STRASBURG ROAD,  
TOWN OF FRONT ROYAL, NORTH RIVER DISTRICT,  
WARREN COUNTY, VIRGINIA

|                                         |                           |                                                                                                        |
|-----------------------------------------|---------------------------|--------------------------------------------------------------------------------------------------------|
| SCALE:<br>1" = 30'                      | DATE:<br>DECEMBER 4, 2019 | PREPARED BY:<br>PIONEER LAND SURVEYS PLC<br>P.O. BOX 1012,<br>FRONT ROYAL, VA 22630<br>PH 540-631-0700 |
| JOB:<br>W19-18                          | PAPER SIZE:<br>24" X 36"  |                                                                                                        |
| DRAWING FILE: AS RHODES TOPO PHASE2.dwg |                           | SHEET:<br>1 OF 1                                                                                       |

- LEGEND**
- = IRON PIN FOUND
  - = IRON PIN SET
  - = V.I.D.T. CONCRETE MONUMENT FOUND
  - ⊕ = UTILITY POLE
  - ⊙ = GUY WIRE
  - ⊗ = WATER METER
  - ⊙ = SIGN
  - ⊙ = SANITARY SEWER MANHOLE
  - ⊙ = STORM SEWER MANHOLE
  - ⊙ = FIRE HYDRANT
  - ⊙ = BUSH
  - ⊙ = LIGHT POLE
  - ⊙ = TREE

| CURVE TABLE |          |            |              |               |
|-------------|----------|------------|--------------|---------------|
| CURVE       | RADIUS   | ARC LENGTH | CHORD LENGTH | CHORD BEARING |
| C1          | 1463.00' | 139.31'    | 139.26'      | N 86°59'19" W |

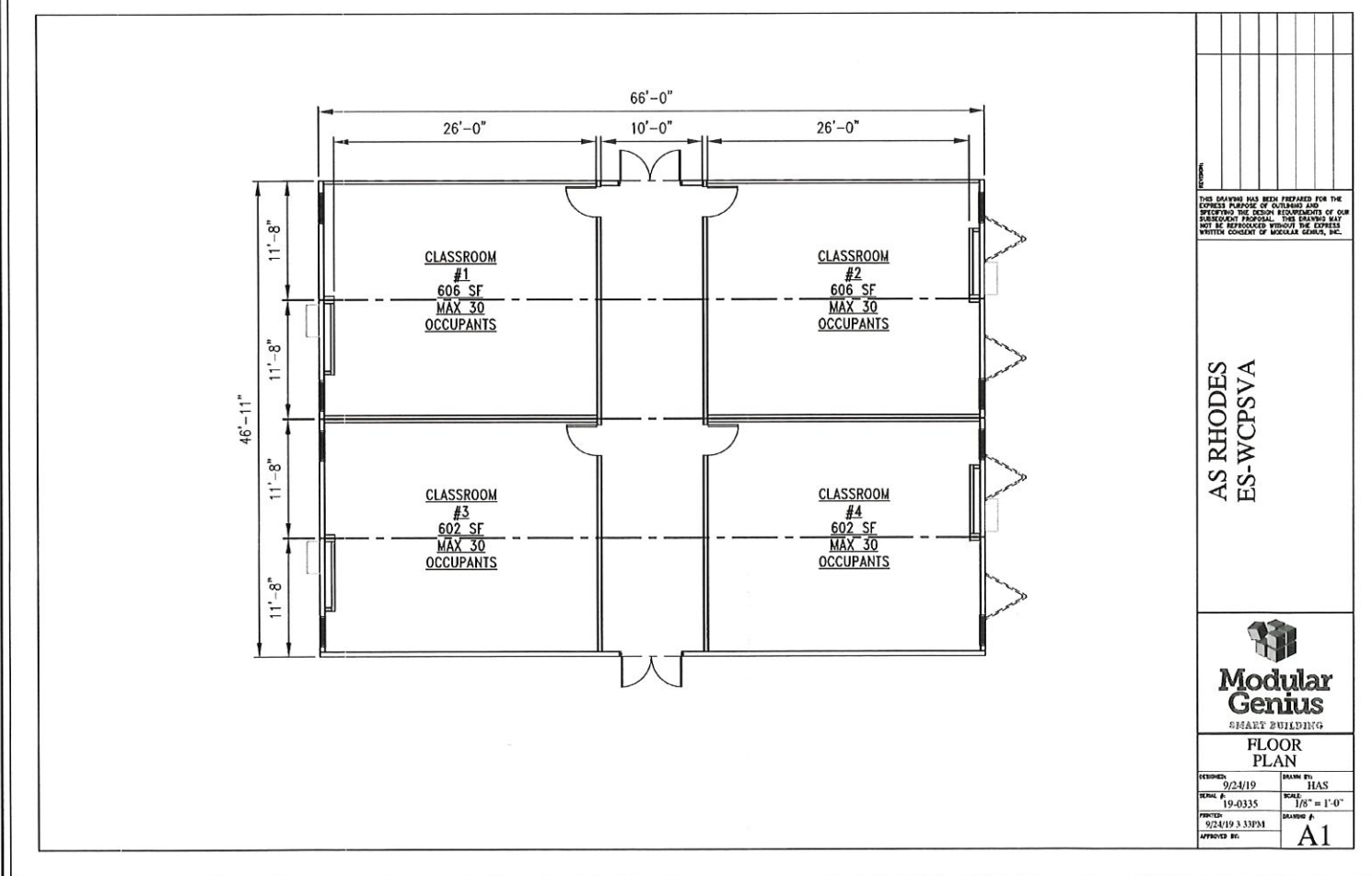
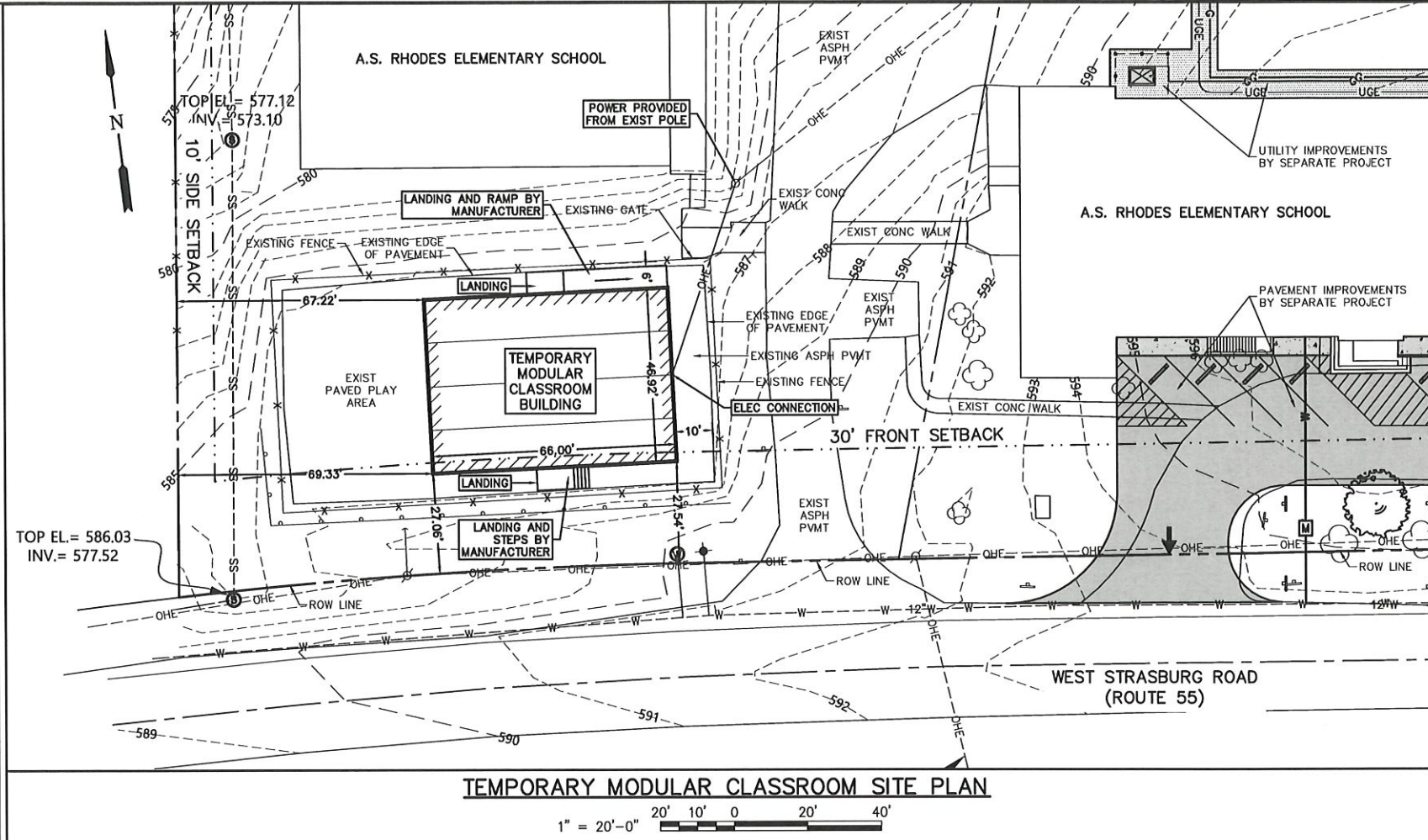
1" = 40'-0" 20' 0 50' 100'

| NO.       | DESCRIPTION | DATE |
|-----------|-------------|------|
| REVISIONS |             |      |

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PLOTTED ON: 12/10/2019 10:28:57 AM



GENERAL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO PROCURE A FULL SET OF CONSTRUCTION DOCUMENTS FOR PROVIDING CONSTRUCTION SERVICES AND PRICING. THIS PROJECT DESIGN IS COMMUNICATED UTILIZING THE PROJECT MANUAL AND A COMPLETE SET OF DRAWINGS AS IDENTIFIED IN THE INDEX OF DRAWINGS. DO NOT SCALE THESE DRAWINGS, UTILIZE DIMENSIONS GIVEN.

### TOWN OF FRONT ROYAL GENERAL CONSTRUCTION NOTES

- FOR TECHNICAL SPECIFICATIONS AND DETAILS REFER TO THE TOWN OF FRONT ROYAL WATER AND SEWER STANDARDS AND SPECIFICATIONS, LATEST EDITION. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THESE SPECIFICATIONS. ANY DEVIATION OR CHANGES SHALL BE SUBMITTED IN WRITING TO THE TOWN FOR SUPPLEMENTAL APPROVAL. INSPECTIONS SHALL BE PERFORMED BY THE DEPARTMENT OF PUBLIC WORKS. CONTACT: DIRECTOR OF PUBLIC WORKS AT (540) 635-7819 OR FAX (540) 635-8973.
- LOCATIONS OF UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FIELD VERIFYING THE EXACT LOCATION, VERTICALLY AND HORIZONTALLY, OF THE UTILITIES PRIOR TO ANY EXCAVATION OR CONSTRUCTION. THE CONTRACTOR SHALL CONTACT MISS UTILITY AND ALL APPLICABLE UTILITY COMPANIES FOR CLEARANCE PRIOR TO EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO THE COMMONWEALTH OF VIRGINIA UNDERGROUND UTILITY DAMAGE PREVENTION ACT, CHAPTER 10, TITLE 56 OF THE CODE OF VIRGINIA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES NECESSARY DURING CONSTRUCTION IN ACCORDANCE WITH CURRENT STATE AND LOCAL REGULATIONS. DISTURBED AREA SHALL NOT REMAIN BARE FOR MORE THAN SEVEN (7) CALENDAR DAYS. DURING CONSTRUCTION, ALL STORM SEWER INLETS SHALL BE PROTECTED BY INLET PROTECTION, MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROCESS. CONTRACTOR SHALL CONTACT THE COUNTY BUILDING INSPECTION OFFICE AT (540) 638-9973 PRIOR TO SCHEDULE INSPECTIONS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN STREETS, ALLAY DUST, AND TO TAKE WHATEVER MEASURES NECESSARY TO ENSURE THAT THE STREETS ARE MAINTAINED IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
- ANY STREET OR UTILITIES DAMAGED BY CONTRACTOR OR SUB-CONTRACTOR SHALL BE SOLE RESPONSIBILITY OF THE PRIMARY CONTRACTOR AND PROPERLY AND IMMEDIATELY REPAIRED BY THE CONTRACTOR. SUCH REPAIR SHALL BE TO THE ORIGINAL CONDITION AND SHALL BE TO THE SATISFACTION OF THE TOWN INSPECTOR.
- ALL PLASTIC SANITARY SEWER MAIN PIPE SHALL BE 8" DIAMETER, SDR 35, UNLESS OTHERWISE NOTED. PIPE BEDDING SHALL BE DETERMINED BY FIELD CONDITIONS AND TOWN SPECIFICATIONS.
- ALL PROPOSED WATER MAINS, HYDRANT BRANCHES AND FIRE SUPPRESSION LINES SHALL BE CLASS 52 DUCTILE IRON PIPE WITH A MINIMUM OF 42" COVER UNLESS OTHERWISE NOTED.
- ALL 2" AND SMALLER WATER SERVICES SHALL BE TYPE "K" COPPER PIPE. SOLDERED JOINTS ON BURIED LINES ARE NOT ACCEPTABLE.
- ALL PRECAST CONCRETE STRUCTURES SHALL BE MINIMUM 4000 PSI AND 28 DAYS WITH A BITUMINOUS COATING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE ANY CONSTRUCTION BEGINS.
- THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTMENT OF ALL UTILITY BOXES, VAULTS OR OTHER APPURTENANCES TO NEW FINISHED GRADE ELEVATIONS.
- CONTRACTOR TO RELOCATE SIGNS AND UTILITIES REQUIRED FOR THIS WORK.
- ANY PLANNED DISRUPTIONS OR TE-INS TO EXISTING UTILITIES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY OWNER. WITH THE EXCEPTION OF EMERGENCIES, THERE SHALL BE A MINIMUM 24 HOUR NOTICE GIVEN BY THE CONTRACTOR TO ALL RESIDENTIAL, COMMERCIAL AND INDUSTRIAL UTILITY USERS AFFECTED BY UTILITY INTERRUPTIONS.
- THE UNAUTHORIZED USE OF WATER WITHOUT DUE COMPENSATION IS ILLEGAL. NO PERSON SHALL CONNECT TO OR DO ANY WORK ON THAT PORTION OF THE SYSTEM OWNED BY THE TOWN UNLESS WRITTEN AUTHORIZATION IS RECEIVED PRIOR TO COMMENCING WORK.
- CONSTRUCTION LIMITS SHALL BE PROPERTY LINES OR AS INDICATED BY PLAN REQUIREMENTS.
- CONSTRUCTION SHALL CONFORM TO THE AMERICAN WITH DISABILITIES ACT (ADA) REQUIREMENTS. CURB RAMPS SHALL BE PLACED WHERE ALL SIDEWALKS MEET CURBS.

### DIMENSIONAL PLAN NOTES

- SEE ARCHITECTURAL SHEETS FOR BUILDING DIMENSIONS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF BUILDING, FACE OF CURB, EDGE OF PAVEMENT, AND PERPENDICULAR TO PROPERTY LINES.
- PARKING SPACES SHALL BE 9'X18', UNLESS OTHERWISE NOTED, AND SHALL BE SEPARATED BY 4 INCH WIDE WHITE PAINTED LINES.
- ALL EXTERIOR CONCRETE ENTRY PADS, PATIOS, PORCHES AND SIDEWALKS SHALL BE 4 INCHES THICK, 4000 PSI AIR ENTRAINED CONCRETE, REINFORCED WITH WWF 6X6, W1.4 X W1.4 OR FIBROUS REINFORCING. CONCRETE SHALL BE PLACED OVER A 4 INCH LAYER OF COMPACTED VDOT TYPE #57 AGGREGATE.

### DEMOLITION PLAN NOTES

- SUBMIT THE PROCEDURES PROPOSED FOR DEMOLITION WORK TO THE ARCHITECT/ENGINEER AND AUTHORITIES HAVING JURISDICTION FOR APPROVAL TWO WEEKS PRIOR TO START OF DEMOLITION WORK. THE PROCEDURES SHALL PROVIDE FOR SAFE CONDUCT, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS SPECIFIED TO BE SALVAGED. PROTECTION OF PROPERTY TO REMAIN UNDISTURBED. COORDINATION WITH OTHER WORK IN PROGRESS AND TIMELY DISCONNECTION OF UTILITIES. THE PROCEDURES SHALL INCLUDE A DETAILED DESCRIPTION OF THE METHODS AND EQUIPMENT USED FOR EACH OPERATION AND THE SEQUENCE OF OPERATIONS.
- CONTROL THE AMOUNT OF DUST FROM DEMOLITION TO PREVENT THE SPREAD OF DUST AND TO AVOID THE CREATION OF NUISANCE IN THE SURROUNDING AREAS. REFRAIN FROM USING WATER WHEN IT WILL CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS ICE, FLOODING AND POLLUTION.
- CONTRACTOR WILL CONTACT ALL APPROPRIATE UTILITY COMPANIES AND COORDINATE DISCONNECTING AND SEALING OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED PRIOR TO START OF DEMOLITION WORK.
- CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO MINIMIZE INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION.
- BEFORE BEGINNING ANY DEMOLITION OR CUTTING, SURVEY THE EXISTING WORK AND EXAMINE THE DRAWINGS AND SPECIFICATIONS TO DETERMINE THE EXTENT OF WORK. TAKE ALL NECESSARY PRECAUTIONS TO ENSURE AGAINST DAMAGE TO EXISTING WORK TO REMAIN IN PLACE, TO BE REUSED, OR TO REMAIN THE PROPERTY OF THE OWNER. REPAIR OR REPLACE ANY DAMAGE TO SUCH WORK AS APPROVED BY ARCHITECT/ENGINEER AT NO ADDITIONAL COST TO OWNER.
- PROTECT TREES WITHIN PROJECT SITE INDICATED TO BE LEFT IN PLACE WITH A 6-FOOT HIGH FENCE. ERECT THE FENCE A MINIMUM OF 5 FEET FROM THE TRUNK OF INDIVIDUAL TREES. THE FENCE MAY FOLLOW THE OUTER PERIMETER OF BRANCHES OR CLUMPS OF TREES. ANY EXISTING TREE DAMAGED DURING WORK UNDER THIS CONTRACT SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- ENSURE SAFE PASSAGE OF PERSONS AROUND AREAS OF DEMOLITION. ERECT TEMPORARY COVERED PASSAGEWAYS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- OBTAIN PERMITS AND COMPLY WITH THE REQUIREMENTS OF ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- REMOVE ALL DEMOLISHED MATERIALS FROM THE OWNER'S PROPERTY AND DEPOSIT IN AN APPROPRIATE LEGAL DUMP SITE. TRANSPORT DEBRIS IN A MANNER TO PREVENT SPILLAGE ON STREETS OR ADJACENT AREAS.

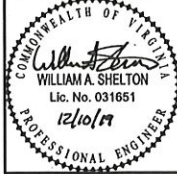
### GENERAL UTILITY NOTES

- CONTRACTOR SHALL CONTACT "MISS UTILITY" (800-552-7001) FOR MARKING OF UTILITIES 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- UTILITIES SHOWN ON THESE PLANS REPRESENT UTILITY LOCATIONS AS DETERMINED FROM A FIELD SURVEY OF ABOVE GROUND UTILITY FEATURES AND RECORD DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UTILITY LOCATIONS, DEPTHS, AND SIZES PRIOR TO CONSTRUCTION. IF EXISTING CONDITIONS ARE DIFFERENT THAN THAT WHICH IS SHOWN ON THE DRAWINGS, NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY.
- THERE MAY EXIST UTILITIES WHICH HAVE NOT BEEN SHOWN ON THE PLANS AND OF WHICH THERE IS NO RECORD. IF ACTIVE UTILITIES ARE ENCOUNTERED WHICH WERE NOT INDICATED ON THE DRAWINGS, CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY AND THE ARCHITECT/ENGINEER IMMEDIATELY. CONTRACTOR SHALL TAKE NECESSARY STEPS TO RESTORE UTILITY SERVICE TO ANY DAMAGED UTILITIES AS SOON AS POSSIBLE.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE COMMENCING WITH CONSTRUCTION.

### GRADING & STORM DRAINAGE NOTES

- NEW CONTOURS AND SPOT ELEVATIONS SHOWN ON THE PLANS REPRESENT FINISHED GRADE ELEVATIONS.
- CONTRACTOR'S FINISHED GRADE ELEVATIONS SHALL BE WITHIN ONE TENTH OF A FOOT OF PLAN ELEVATIONS.
- CONTRACTOR SHALL PROVIDE THE OWNER WITH A TOPOGRAPHIC SURVEY OR OTHER DOCUMENTATION CERTIFIED BY A LICENSED LAND SURVEYOR VERIFYING THE FINISHED GRADE ELEVATIONS ARE WITHIN THE SPECIFIED TOLERANCE.
- GRADE AROUND ALL BUILDINGS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
- GRADE ALL AREAS IN THE VICINITY OF DROP INLETS TO PROVIDE POSITIVE DRAINAGE TOWARD THE INLET.
- THE CONTRACTOR SHALL SPREAD AND FINE GRADE TOPSOIL, AND APPLY PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS TO ALL DISTURBED UNPAVED AREAS.
- ALL CONC PADS, SIDEWALKS, AND WALKING TRAILS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.08%.

| NO.       | DESCRIPTION | DATE |
|-----------|-------------|------|
| REVISIONS |             |      |



2800 County Club Dr. SW  
Blacksburg, Virginia 24060  
P: 540-552-2151  
F: 540-551-4219

5550 Winchester Avenue  
Berkley Business Park  
Manassas, VA 20108  
P: 304-381-5541  
www.oamp.com

**O&P**  
ARCHITECTS AND ENGINEERS

A.S. RHODES ELEMENTARY SCHOOL  
TEMPORARY MODULAR CLASSROOMS  
WARREN COUNTY PUBLIC SCHOOLS  
FRONT ROYAL  
VIRGINIA

| COMM NO. | Date      |
|----------|-----------|
| 2018-140 | 10 DEC 19 |

|          |       |         |          |
|----------|-------|---------|----------|
| WAS      | WAS   | BTL     | RSJ      |
| Designed | Drawn | Checked | Approved |

**SITE PLAN**

**C103**



# TOWN OF FRONT ROYAL

DEPARTMENT OF PLANNING & ZONING  
102 EAST MAIN STREET  
P.O. BOX 1560  
FRONT ROYAL, VA 22630

Main: 540.635.4236

Fax: 540.631.2727

Internet: [www.frontroyalva.com](http://www.frontroyalva.com)

FRSITE 1776-2019

## DEVELOPMENT APPLICATION REQUEST FOR SITE PLAN APPROVAL

NAME OWPR, Inc. PHONE 540-552-2151

ADDRESS 200 Country Club Drive, Plaza 1, Bldg. E, Blacksburg, VA 24060

Designated Contact for Applicant William A. Shelton, P.E.

### PROPERTY DESCRIPTION

PROPERTY ADDRESS 224 West Strasburg Road

TAX MAP 20A114-15, 20A114-6, 20A114-5 SECTION N/A BLOCK N/A LOT N/A

SUBDIVISION NAME N/A ACREAGE 7.85 ac (Total)

### REQUEST

ZONING DISTRICT R-2 Residential

PROPOSED USE OF PROPERTY School

PROPOSED BUILDING SIZE 3,100 SF - Temporary

BUILDING COVERAGE 8% - Permanent Coverage (9% - With Temporary Building)

NUMBER OF PARKING SPACES PROVIDED 84 (4 ADA) - Existing

AMOUNT OF OPEN SPACE AREA 72%

ATTACHMENTS ----The following **must** be submitted with this application. Additional information may be required depending on the nature of the request.

1. **Four (4) copies of the site plan, prepared in accordance with the requirements of Town Code Section 148-1020. Fewer paper copies may be allowed for Minor Site Plan Applications as determined by the Planning and Zoning Director.**
2. **One (1) digital copy of the site plan.**
3. **Application Fee.**

(The required number of copies of the Erosion and Sediment Plan should be to the Warren County Bldg. Inspection office, as their approval is required before the development plan can be approved by the Town.)

### CERTIFICATION

I certify that the information provided with this application is correct to the best of my knowledge, and the project will be implemented as presented and approved by the Town of Front Royal, in accordance with the Town's Land Development Regulations (Chapter 148) and Zoning Ordinance (Chapter 175).

Signature William A. Shelton Date 12/10/19

Fee: Site Development Plan, **Minor** \$100 **Site Development Plan, Major** \$750

**See Town Code Section 148-900 for definition of Major and Minor Site Development Plan**

Amount Received: 750.00 Check # 001491 Date 12-11-19

By submitting this application, the applicant grants permission to Town officials and employees to enter upon the property, which is the subject of this application, during reasonable hours and for purposes related to the application process.

Revised 8-23-19

**WORK**

**SESSION**

1



## Work Session Agenda Form

Item # 1

DATE: February 10, 2020

**AGENDA ITEM:** Update on CDBG

**SUMMARY:** The Interim Town Manager and members of the Community Development Block Grant (CDBG) Committee will give Council an update on the grant.

**BUDGET/FUNDING:** None

**STAFF RECOMMENDATION:** Council takes desired action if any.

Work Session

Begin forwarded message:

**From:** Craig Wilson <[craig.wilson@summitde.net](mailto:craig.wilson@summitde.net)>

**Date:** February 5, 2020 at 12:23:19 PM EST

**To:** "[dougellis@dhcd.va.gov](mailto:dougellis@dhcd.va.gov)" <[dougellis@dhcd.va.gov](mailto:dougellis@dhcd.va.gov)>

**Cc:** Matt Tederick <[tederick@frontroyalva.com](mailto:tederick@frontroyalva.com)>, Christopher Brock <[cbrock@frontroyalva.com](mailto:cbrock@frontroyalva.com)>

**Subject:** Re-Jumping Starting Front Royal's Façade Improvement Program

Doug,

In a conference call yesterday with Matt Tederick, the Interim Town Manager in Front Royal and with the Project Management Team yesterday evening, we all put our heads together to figure out the best way to re-jump start the Façade Improvement Program there in Front Royal. As you are aware, the bidding environment has not been kind to us and with even three attempts at bidding out the first group of facades, we continued to get very high, unworkable prices. It is the first time I've ever seen a Façade Improvement bid come in at over \$100,000. Even as Jeremy tried to work with the owners to pick and chose elements to go forward with, setting aside others, the owners themselves balked at the prices for some of the individual items they might want to keep in their project recognizing that they were way out of line. As confirmation of the issue, the Town recently got the bids back on the Pavilion/Rest Room complex and it has come in \$100,000 over what the architect estimated (Matt is going to work with Town Council to see if there is a way that the difference can be funded).

I put together the attached one-pager for our discussion yesterday evening that was used to gather the group's feedback on shifting for the most part to a "materials only" strategy. Obviously, that has always been allowed, but for the most part on a fairly limited basis with the traditional design-bid-general contractor model being the more "normal" route. This shift would make "materials only" the primary means of accomplishing the goals of the Façade Improvement Program, with the traditional method being a secondary means.

This shift in strategy is easy when it comes to buying paint for an owner to use on his own or as part of the owner hiring and paying a painter to do the work. But things like that would be mainly "small" money. To enable paying for some more significant improvements, DHCD would need to continue allowing "off-site" fabrication of new windows, new storefront windows/doors, awnings, etc. that are then installed "on-site" to count as a "materials only" improvement, even though there are labor costs associated with installation imbedded in the typical pricing of a window, awning, etc. We have done this on a number of projects in the past, but usually on a fairly small scale. I looked through our already approved designs for the current Façade Improvements and given a bit of freedom here we could pay for a number of awnings, window replacements, etc. One of our Management Team members used the term "plug and play" for these type of improvements and it is a good term. Everybody in the group understood that the planned improvements that require extensive on-site fabrication and on-site labor could not be treated this way and would likely have to be forgone, or given the savings realized by this new strategy, could be paid for by the owners separately and on their own.

Another related matter would be the issue of Deeds of Trust/Deed of Trust Notes. If all we did was pay for some paint for \$600, it would seem rather silly to put a Deed of Trust against the

property for such a minor amount. Would DHCD entertain foregoing a Deed of Trust requirement for improvements paid as "materials only" if under say \$4,000? The 2-party contract would still have stipulations about making sure the building is occupied, the improvements are maintained, etc., so we'd still have a "stick" or two that would help enforce the Façade Improvement requirements.

So, if you would please look over the attached. I have highlighted in yellow those areas where we need your input. If you could respond by email, it would be helpful. As you know, time is of the essence.

Once you have a chance to review all of this, I will also have another question to throw your way regarding murals on buildings, but I'll save that for another day.

## **“Materials Only” Façade Improvements**

### **Pertinent Sections of the Façade Improvement Program Design**

As a policy exception due to extraordinary circumstances, building owners who are also licensed and insured contractors may choose to have their personal company do the construction work with the prior approval of the Advisory Board, including approval of the design sketches and work write-up. In such circumstances, CDBG funds can only be used for the documented cost of materials secured from the supplier providing the lowest price quote, with a minimum of three (3) quotes provided. It should be noted that under this circumstance, a building owner may not be eligible for the full matching deferred loan because the cost of materials may be significantly less than the \$20,000 deferred loan available per commercial building. A two-party contract between the Town and the owner for the cost of materials would be executed in such circumstances.

As a policy exception due to extraordinary circumstances, a building owner may negotiate independently with a licensed and insured contractor with the prior approval of the Advisory Board, including approval of the design sketches and work write-up. In such a circumstance, CDBG funds can only be used for the documented cost of materials secured from the supplier providing the lowest price quote, with a minimum of three (3) quotes provided. It should be noted that under this circumstance, a building owner may not be eligible for the full matching deferred loan because the cost of materials may be significantly less than the \$20,000 deferred loan available per commercial building. A two-party contract between the Town and the owner for the cost of materials would be executed in such circumstances.

A formal contract and lien must secure each job involving CDBG assistance. The Town will prepare these documents for execution by the owner. The two-party or three-party contract (as appropriate) will outline each party's responsibilities and the work description. In addition to the contract, a deed of trust and deed of trust note will be executed by the owner and the Town and subsequently recorded in order to secure the loan. Property owners will need to be prepared to pay any cash match that is required and any costs over the maximum eligible amount calculated for the building at closing.

### **Matters to Consider:**

1. Per above, a grant to an owner for materials only such as paint may be a limited amount of money.
2. All materials used would have to be in keeping with a design/work write-up approved by the Façade Advisory Board, the Board of Architectural Review, and the Virginia Department of Historic Resources.
3. Per above, a small grant would still require a deed of trust/deed of trust note placed against the building. *If a big push is made to go with “materials only” projects, we will want to see if DHCD would give us some kind of waiver to this requirement for smaller amounts, perhaps Façade grants less than \$4,000.*
4. The Front Royal Program Design per above requires three (3) quotes if an owner opts for “materials only” which mirrors a typical small purchase procedure. DHCD does not require three (3) quotes. *If a big push is made to go with “materials only” projects, we may want to make a change to the Façade Improvement Program Design to require only one (1) quote. Such a change would require Council approval.*
5. DHCD has in the past allowed window replacements to be considered “materials only” because the window is assembled off-site and the typical way windows are priced are as a set rate per window including installation which is usually a pretty quick process. *If a big push is made to go with “materials only” projects and we have multiple standard or storefront window replacements, we will want to make sure DHCD is OK with this on such a significant scale.*
6. DHCD has in the past allowed awnings to be considered “materials only” because the awning frame and fabric is fabricated off-site and the typical way awnings are priced are as a set price that includes installation which is usually a pretty quick process. *If a big push is made to go with “materials only” projects and we have multiple awnings, we will want to make sure DHCD is OK with this on such a significant scale.*

GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PERMITS, WORK, AND MATERIALS IN ACCORDANCE WITH ALL CODES, ORDINANCES AND REGULATIONS APPLICABLE AT THE PROJECT LOCATION. THESE DRAWINGS ARE INTENDED TO PROVIDE SUFFICIENT INFORMATION TO OBTAIN A BUILDING PERMIT AND CONVEY GENERAL DESIGN INTENT TO THE BUILDER. ADDITIONAL TECHNICAL ADVICE AND DETAILING MAY BE REQUIRED FOR SUCCESSFUL COMPLETION OF THIS PROJECT AND IS THE BUILDERS RESPONSIBILITY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE WORK, THE CONTRACTOR SHALL OBTAIN A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
3. DIMENSIONS ARE NOT ADJUSTABLE, UNLESS NOTED (4/4). THE CONTRACTOR SHALL NOT SCALE DRAWINGS.
4. CONTRACTOR IS RESPONSIBLE FOR THE MEANS, METHODS AND TECHNIQUES OF CONSTRUCTION, SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK, AND FOR THE ACTS OR OMISSIONS OF THE SUBCONTRACTORS.
5. INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDED SPECIFICATIONS.
6. "TYPICAL" (TYP.) MEANS IDENTICAL FOR ALL CONDITIONS THAT MATCH ORIGINAL CONDITION ILLUSTRATED UNLESS OTHERWISE NOTED. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS OF THE CONDITION CITED. "ALIGN" MEANS NOTED SEPARATE COMPONENTS OF CONSTRUCTION, (FOR EXAMPLE: WALLS, JAMBS, ETC.), SHALL BE IN LINE WITH EACH OTHER.
7. CONTRACTOR SHALL MAINTAIN SITE IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES.
8. CONTRACTOR SHALL PROTECT ALL SURFACES NOT INVOLVED IN THE WORK FROM ANY DAMAGE.
9. CONTRACTOR SHALL REPAIR ALL SURFACES DAMAGED DURING THE INSTALLATION OF ANY NEW BUILDING SYSTEM TO MATCH THE FINISH, APPEARANCE AND TEXTURE OF ADJACENT, EXISTING, UNDAMAGED SURFACES.
10. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE (1) YEAR FROM THE DAY OF SUBSTANTIAL COMPLETION.
11. CONTRACTOR SHALL PROVIDE ADEQUATE EROSION CONTROL DURING THE COURSE OF THE PROJECT.
12. CONTRACTOR TO PROVIDE FOR ALL MECHANICAL, ELECTRICAL, & PLUMBING DESIGN. ALL FIXTURE SELECTION TO BE APPROVED BY OWNER BEFORE INSTALLATION.
13. FOUNDATION DESIGN PRESSURE ASSUMED TO BE 2500 PSF MIN.
14. BOTTOM OF ALL EXTERIOR FOOTINGS TO EXTEND 24" MIN. BELOW FINISH GRADE.

TOWN COMMONS  
PAVILION  
FRONT ROYAL, VIRGINIA



PROJECT # 2018-0040

DEC 13, 2019

DRAWING INDEX

| Issued                 |                             |                          |
|------------------------|-----------------------------|--------------------------|
| Construction Documents |                             |                          |
| TS0.1                  | TITLE SHEET                 | <input type="checkbox"/> |
| A1.1                   | BASE BID & ALT #1 PLAN      | <input type="checkbox"/> |
| A1.2                   | BASE BID/ALT #1 ROOF & DTLS | <input type="checkbox"/> |
| A1.3                   | BASE BID & ALT #1 ELEV      | <input type="checkbox"/> |
| A2.1                   | ALTERNATE #2 & #3 PLAN      | <input type="checkbox"/> |
| A2.2                   | ALTERNATE #2 & #3 ROOF      | <input type="checkbox"/> |
| A2.3                   | ALTERNATE #2 & #3 ELEV      | <input type="checkbox"/> |
| A3.1                   | ALTERNATE #4 & #5 PLAN      | <input type="checkbox"/> |
| A3.2                   | ALTERNATE #4 & #5 ROOF      | <input type="checkbox"/> |
| A3.3                   | ALTERNATE #4 & #5 ELEV      | <input type="checkbox"/> |



FRAZIER ASSOCIATES

ARCHITECTURE • COMMUNITY DESIGN • WAYFINDING  
213 NORTH AUGUSTA STREET, STAUNTON, VA 24401  
PHONE 540.886.6230 FAX 540.886.8629  
www.frazierassociates.com

TOWN COMMONS PAVILION

FRONT ROYAL, VIRGINIA

ARCHITECTURAL ABBREVIATIONS

|         |                                               |           |                           |       |                                                      |          |                         |          |                                               |        |                                 |
|---------|-----------------------------------------------|-----------|---------------------------|-------|------------------------------------------------------|----------|-------------------------|----------|-----------------------------------------------|--------|---------------------------------|
| ABV     | Above                                         | CONT      | Continual                 | FLR   | Floor                                                | LVL      | Laminated Veneer Lumber | PSI      | Pound Per Square Inch                         | STRUCT | Structure                       |
| AC      | Air Conditioning                              | CONTR     | Contractor                | FLUOR | Fluorescent                                          | M.O.     | Masonry Opening         | PT       | Pressure Treated                              | SUBFL  | Subfloor                        |
| ACOUS   | Acoustical                                    | CPT       | Carpet                    | FOF   | Face of Footing                                      | MATL     | Material                | PTD      | Painted                                       | SURF   | Surface                         |
| ACT/ACP | Acoustical Ceiling Tile/<br>Panels            | CORR      | Corridor                  | FOM   | Face of Masonry                                      | MAX      | Maximum                 | PVC      | Polyvinyl Chloride                            | SUSP   | Suspend                         |
|         |                                               | CRS       | Courses                   | FOS   | Face of Structure(or Face of Stud, where applicable) | MDO      | Medium Density Overlay  | QT       | Quarry Tile                                   | SYM    | Symbol                          |
|         |                                               | CTR       | Center                    |       |                                                      | MECH     | Mechanical              | QTY      | Quantity                                      |        | Tread(s)                        |
| ADJ     | Adjacent, Adjustable                          | CTRD      | Centered                  | FP    | Fireplace                                            | MEMB     | Membrane                | R        | Riser(s);Radius                               | T&G    | Tongue and Groove               |
| AFF     | Above Finish Floor                            | CW        | Cold Water                | FR    | Fire Resistive                                       | MFR      | Manufacturer(s)         | RO       | Rough Opening                                 | TBS    | To Be Specified                 |
| A.I.A.  | American Institute of<br>Architects           | D         | Dryer                     | FT    | Feet                                                 | MIN      | Minimum                 | R=       | Radius                                        | TEL    | Telephone                       |
| ALT     | Alternate                                     | DBL       | Double                    | FTG   | Footing                                              | MISC     | Miscellaneous           | RAD      | Radius                                        | TEMP   | Temperature                     |
| ALUM    | Aluminum                                      | DEMO      | Demolish, Demolition      | FURN  | Furniture                                            | MO       | Masonry Opening         | R.C.P.   | Reflected Ceiling Plan                        | THK    | Thick                           |
| ANCH    | Anchor                                        | DET; DETL | Detail                    | FURR  | Furring                                              | MTL      | Metal                   | RECPT    | Receptacle                                    | TLT    | Toilet                          |
| ANOD    | Anodized                                      | DIA       | Diameter                  | GA    | Gauge                                                | MTD      | Mounted                 | REF      | Refrigerator, Refer                           | TOF    | Top of Footing                  |
| A.P.A.  | American Plywood                              | DIM       | Dimension                 | GAL   | Gallon                                               | MTG      | Mounting                | REFIN    | Refinish                                      | TOS    | Top of Slab                     |
|         |                                               | DN        | Down                      | GALV  | Galvanized                                           | MW       | Microwave Oven          | REG      | Register                                      | TOST   | Top of Structure                |
|         |                                               | DS        | Downspout                 | GB    | Grab Bar                                             | N        | North                   | REIN     | Reinforcing                                   | TOV    | Top of Wall                     |
| APPROX  | Approximate                                   | DW        | Dishwasher                | GC    | General Contractor                                   | NEC      | National Electric Code  | REPL     | Replace(ment)                                 | T.P.   | Toilet Paper                    |
| ARCH    | Architect (or Architectural)                  | DWG       | Drawing                   | GFI   | Ground Fault Interrupter                             | NIC      | Not in Contract         | REQ:REQD | Required                                      | TRTD   | Treated                         |
| ASTM    | American Society for<br>Testing and Materials | E         | East                      | GL    | Glass                                                | NO       | Number                  | RESIL    | Resilient                                     | TYP    | Typical                         |
|         |                                               | EA        | Each                      | GWB   | Gypsum Wall Board                                    | NOM      | Nominal                 | REV      | Revision                                      | UL:ULI | Underwriters Laboratories, Inc. |
| AVG     | Average                                       | EJ        | Expansion Joint           | GYP   | Gypsum                                               | #        | Number                  | RM       | Room                                          | UNO    | Unless Noted Otherwise          |
| A.W.I.  | American Woodworking<br>Institute             | ELEC      | Electric(al)              | HB    | Hose Bib                                             | NTS      | Not to Scale            | SAB      | Sound Attenuation Blanket                     | UTL    | Utility                         |
|         |                                               | EL        | Elevation                 | HC    | Hollow Core                                          | OA       | Overall                 | S        | Shelf;Shelves                                 | V      | Volt                            |
| B.S.    | Back Splash                                   | ELEV      | Elevation                 | HCAP  | Handicap                                             | OD       | Outside Diameter        | SC       | Solid Core                                    | VB     | Vapor Barrier                   |
| BD      | Board (or Bead, if applicable)                | EMER      | Emergency                 | HD    | Head                                                 | OC       | On Center               | SCHED    | Schedule(d)                                   | VCT    | Vinyl Composition Tile          |
| BETW    | Between                                       | EQ        | Equal                     | HDW   | Hardware                                             | OFF      | Office                  | SCR      | Screen                                        | VIF    | Verify in Field                 |
| BLDG    | Building                                      | EQUIP     | Equipment                 | HDWD  | Hardwood                                             | OHP      | Outside Heat Pump       | SDG      | Siding                                        | VT     | Vinyl Tile                      |
| BLKG    | Blocking                                      | ETR       | Existing to Remain        | HORIZ | Horizontal                                           | OPG;OPNG | Opening                 | SECT     | Section                                       | VWC    | Vinyl Wall Covering             |
| BOF     | Base of Flooring                              | EWC       | Electric Water Cooler     | HT    | Height                                               | OPP      | Opposite                | SHT      | Sheet                                         | W      | West                            |
| BOT     | Bottom                                        | EXIST     | Existing                  | HVAC  | Heating/Ventilation/Air-<br>Conditioning             | PART     | Partition               | SHTG     | Sheathing                                     | WC     | Water Closet                    |
| BRG     | Bearing                                       | EXH       | Exhaust                   |       |                                                      | PCF      | Powder Coat Finish      | SIM      | Similar                                       | WD     | Wood                            |
| BSMT    | Basement                                      | EXP       | Expansion, Exposed        | HW    | Hot Water                                            | PERIM    | Perimeter               | SMACNA   | Sheet Metal & Air<br>Conditioning Contractors | WDW    | Window                          |
| BYD     | Beyond                                        | EXT       | Exterior                  | IN    | Inch                                                 | PL       | Plate                   |          |                                               | WF     | Wide Flange                     |
| CEM     | Cement                                        | FA        | Fire Alarm                | INCL  | Include(d)                                           | PLAM     | Plastic Laminate        |          | National Association                          | WH     | Water Heater                    |
| CJ      | Control Joint                                 | FD        | Floor Drain               | INT   | Interior                                             | PLAS     | Plaster                 | SPEC     | Specification                                 | WM     | Western Wood Molding            |
| CLOS    | Closet                                        | FDTN      | Foundation                | JAN   | Janitor                                              | PLEX     | Plexiglass              | SQ       | Square                                        |        | (designation)                   |
| CLG     | Ceiling                                       | FEC       | Fire Extinguisher Cabinet | JT    | Joint                                                | PLMB     | Plumbing                | SS       | Stainless Steel                               | WP     | Waterproofing                   |
| CLOS    | Closet                                        | FF        | Finish Floor              | KW    | Kilowatt                                             | PLYWD    | Plywood                 | ST       | Street                                        | W      | Washer                          |
| CLR     | Clear                                         | FGLAS     | Fiberglass                | LAM   | Laminate                                             | PMVT     | Pavement                | STD      | Standard                                      | W/     | With                            |
| CMU     | Concrete Masonry Unit                         | FIN       | Finish                    | LAV   | Lavatory                                             | POLY     | Polyethylene            | SSM      | Standing Seam Metal                           | WT     | Weight                          |
| CONC    | Concrete                                      | FIX       | Fixture                   | LTG   | Lighting                                             | PR       | Pair                    | STL      | Steel                                         | WWF    | Welded Wire Fabric              |
| CONST   | Construction                                  | FLASHG    | Flashing                  | LIN   | Linoeum                                              | PPT      | Pressure Treated        | STOR     | Storage                                       | YD     | Yard                            |
|         |                                               | EP        | Electrical Panel          |       |                                                      |          |                         |          |                                               |        |                                 |

ARCHITECTURAL SYMBOLS

ROOM NAME: G03

Room Name  
Room Number

Detail Number  
DETAIL-SECTION

Detail Number  
DETAIL-PLAN

Section Number  
SECTION

Elevation Number  
ELEVATION

Elevation Number  
INT. ELEV. - PLAN

Window Symbol

Door Symbol

Partition Type

Bathroom Symbol

REVISION CLOUD & MARKER

KEYED NOTES

CENTERLINE

ALIGN - with Established Element

COLUMN LINE

ELEV. ABOVE FINISHED FLOOR - Plan

WOOD BLOCKING - Skin

WOOD BLOCKING - Corners

WOOD - Finished

EXISTING WALL

NEW WALL

EXISTING WALL TO BE REMOVED

EARTH

GRAVEL

CONCRETE

BRICK IN SECTION

BRICK IN ELEVATION

CONCRETE MASONRY UNIT

GLASS

GWB (Large Scale)

MEDIUM DENSITY OVERLAY (MDO) BOARD/ ORIENTED STRAND BOARD (OSB)

PLYWOOD

LAY-IN CEILING TILE (Acoustical Panels)

INSULATION (Loose or Batt)

INSULATION (Rigid)

CARPET

CHANGE IN FLOOR LEVEL

PHOTO LOCATION

FIRE RATED PARTITION

APPLIANCE SYMBOL

FLOOR MATERIAL

BASE MATERIAL

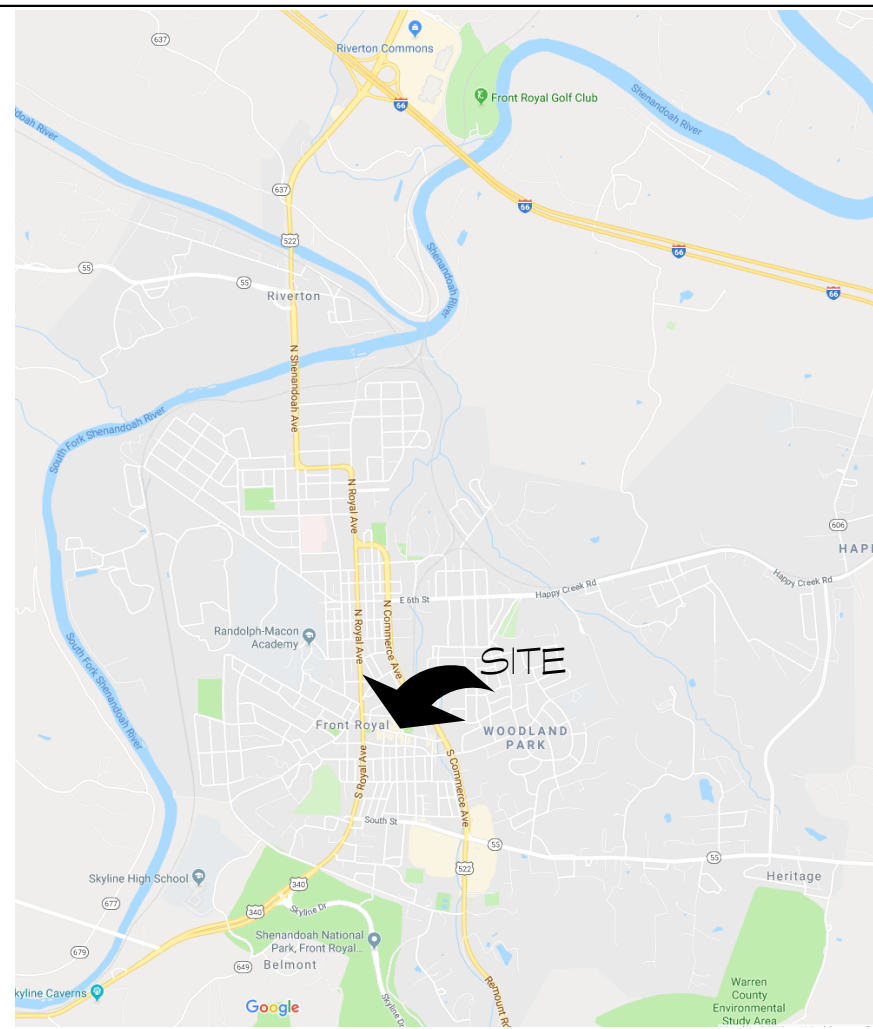
WALL MATERIAL

CEILING MATERIAL

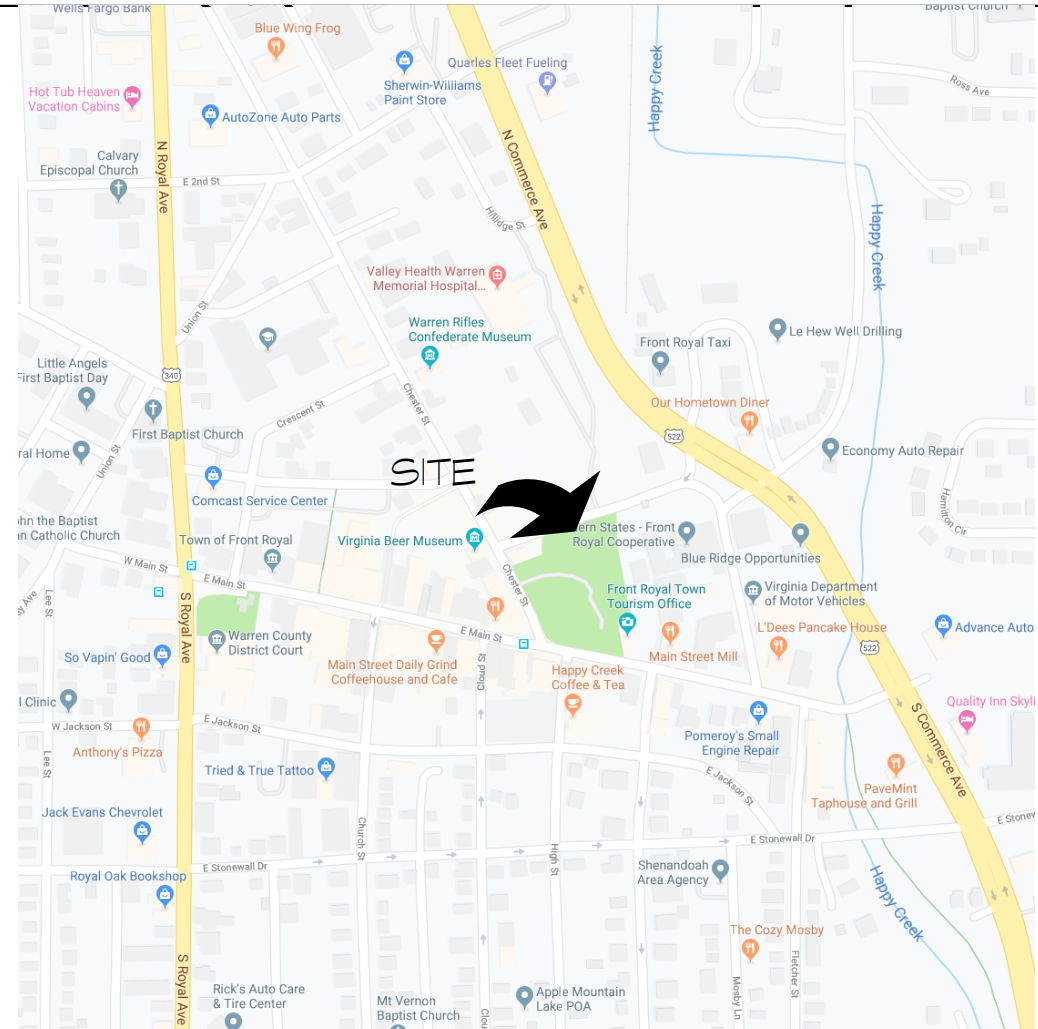
PROJECT INFORMATION

|                    |                                                                                                                     |
|--------------------|---------------------------------------------------------------------------------------------------------------------|
| CODE:              | VUSBC 2015 INCLUDING VIRGINIA CONSTRUCTION CODE (VCC)<br>ANSI 117.1 2010 ACCESSIBLE & USABLE BUILDING & FACILITIES  |
| USE GROUP:         | PROPOSED A5 - ASSEMBLY                                                                                              |
| AREA:              | PAVILION, BASE BID 1,330 SF<br>ADD ALTERNATE 387 SF                                                                 |
| HEIGHT:            | 1 STORY 16'-6"                                                                                                      |
| CONSTRUCTION TYPE: | TYPE IV B                                                                                                           |
| OCCUPANCY:         | 1,330 SF / 15 SF PER PERSON = 89 OCCUPANTS                                                                          |
| PROTECTION:        | NONE                                                                                                                |
| PLUMBING:          | 2 WOMEN FIXTURES EACH RATED FOR 40 PEOPLE = 80 PERMITTED<br>2 MEN FIXTURES EACH RATED FOR 75 PEOPLE = 150 PERMITTED |

VICINITY PLAN



LOCATION PLAN

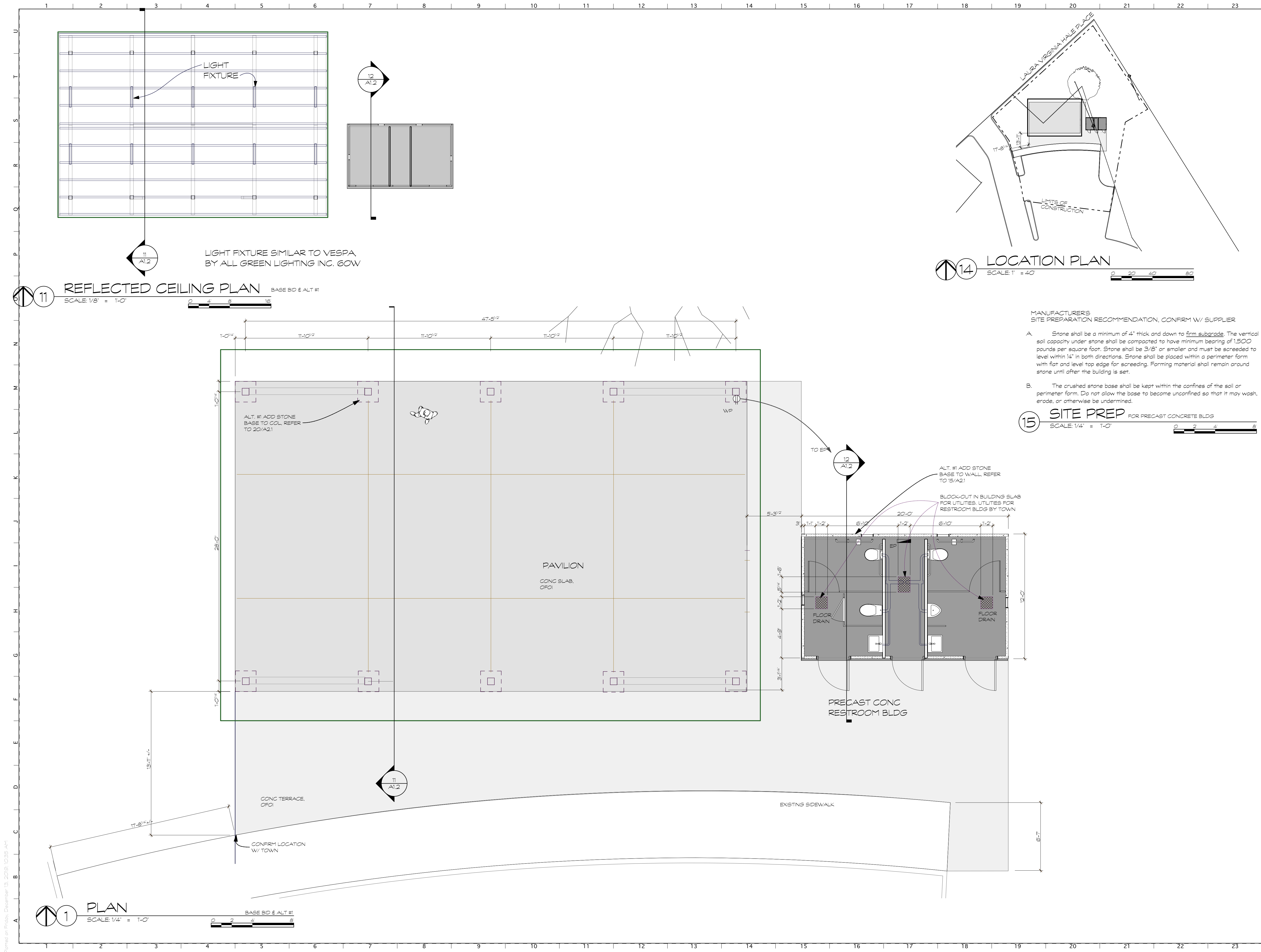


NOT FOR  
CONSTRUCTION

DRAWING SET:  
CONSTRUCTION DOCUMENT  
REVIEW

DRAWING TITLE:  
TITLE SHEET

TSO.1



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TOWN COMMONS PAVILION

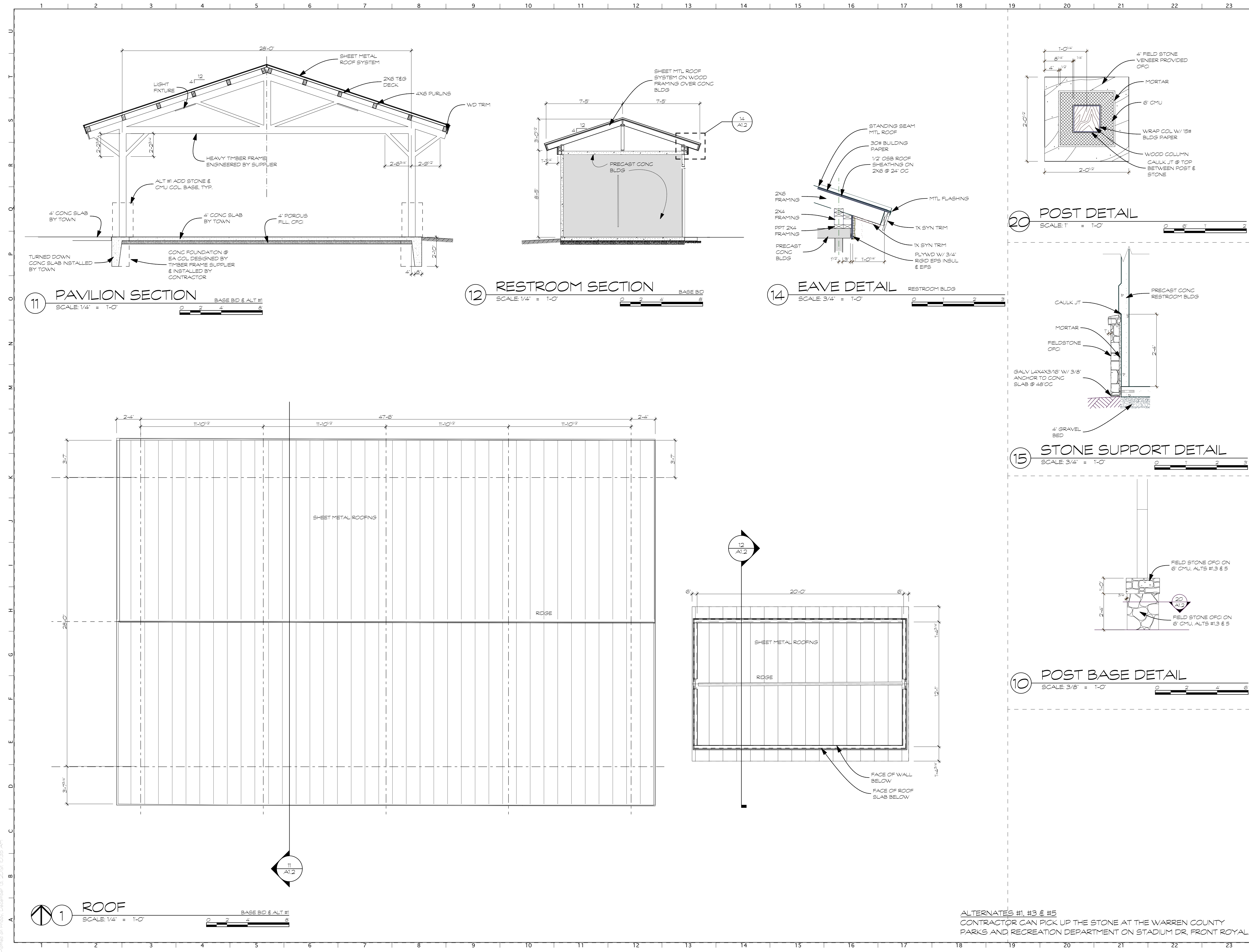
FRONT ROYAL, VIRGINIA

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| DRAWN BY:<br>PRELIMINARY<br>SET                               | DATE:<br>12/13/2019 |
| DRAWING TITLE:<br>BASE BID & ALT #1<br>BASE BID & ALT #1 PLAN |                     |

A1.1



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FRONT ROYAL, VIRGINIA

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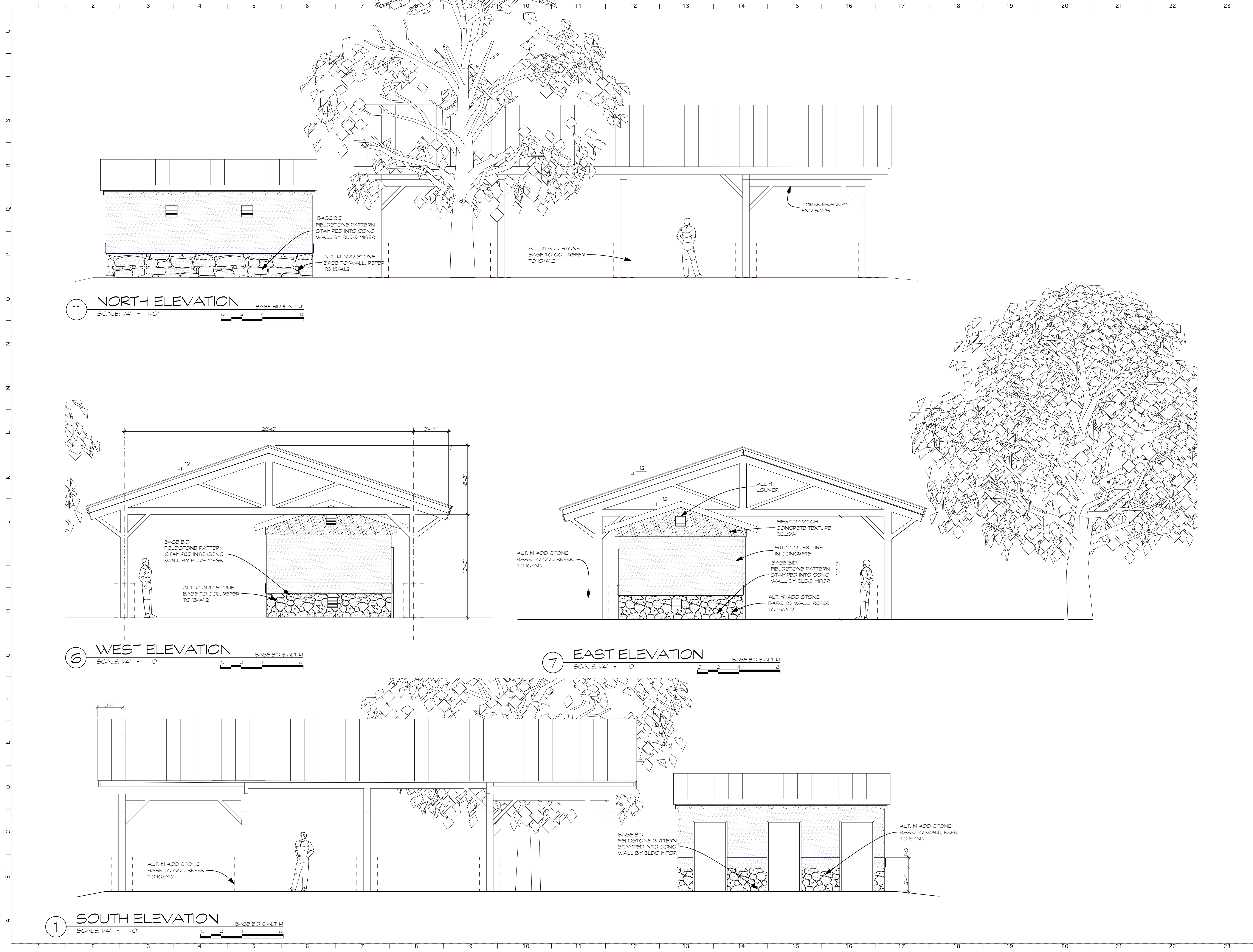
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| PRELIMINARY     | 12/13/2019  |
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| DRAWING TITLE:  |             |

BASE BID/ALT #1 ROOF & DTLs

A1.2

ALTERNATES #1, #3 & #5  
CONTRACTOR CAN PICK UP THE STONE AT THE WARREN COUNTY  
PARKS AND RECREATION DEPARTMENT ON STADIUM DR, FRONT ROYAL.

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TOWN COMMONS PAVILION

FRONT ROYAL, VIRGINIA

DATE REVISION

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| PRELIMINARY     | 12/13/2019  |
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DRAWING TITLE:

BASE BID & ALT #1 ELEV

A1.3

## TOWN COMMONS PAVILION

FRONT ROYAL, VIRGINIA

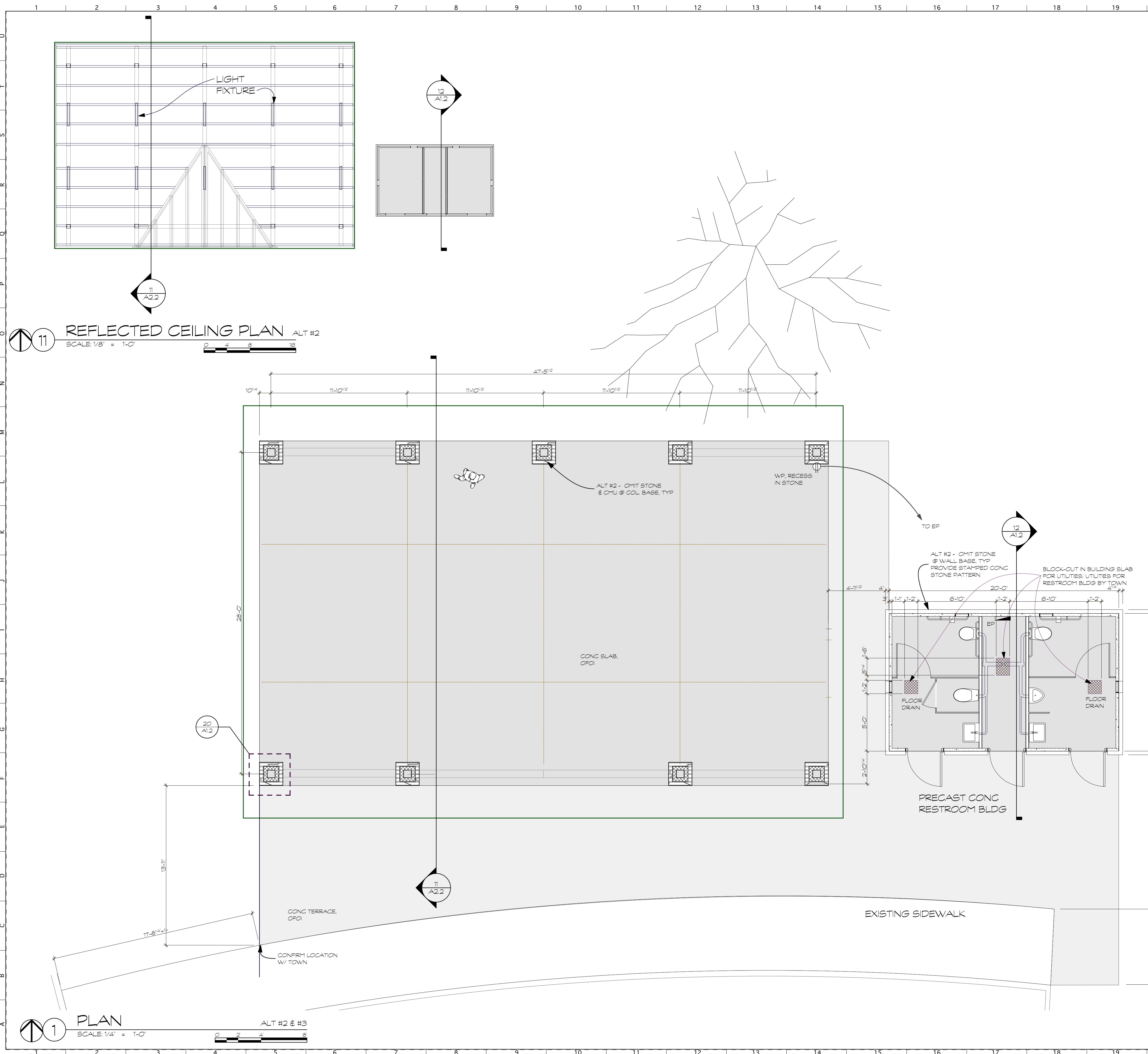
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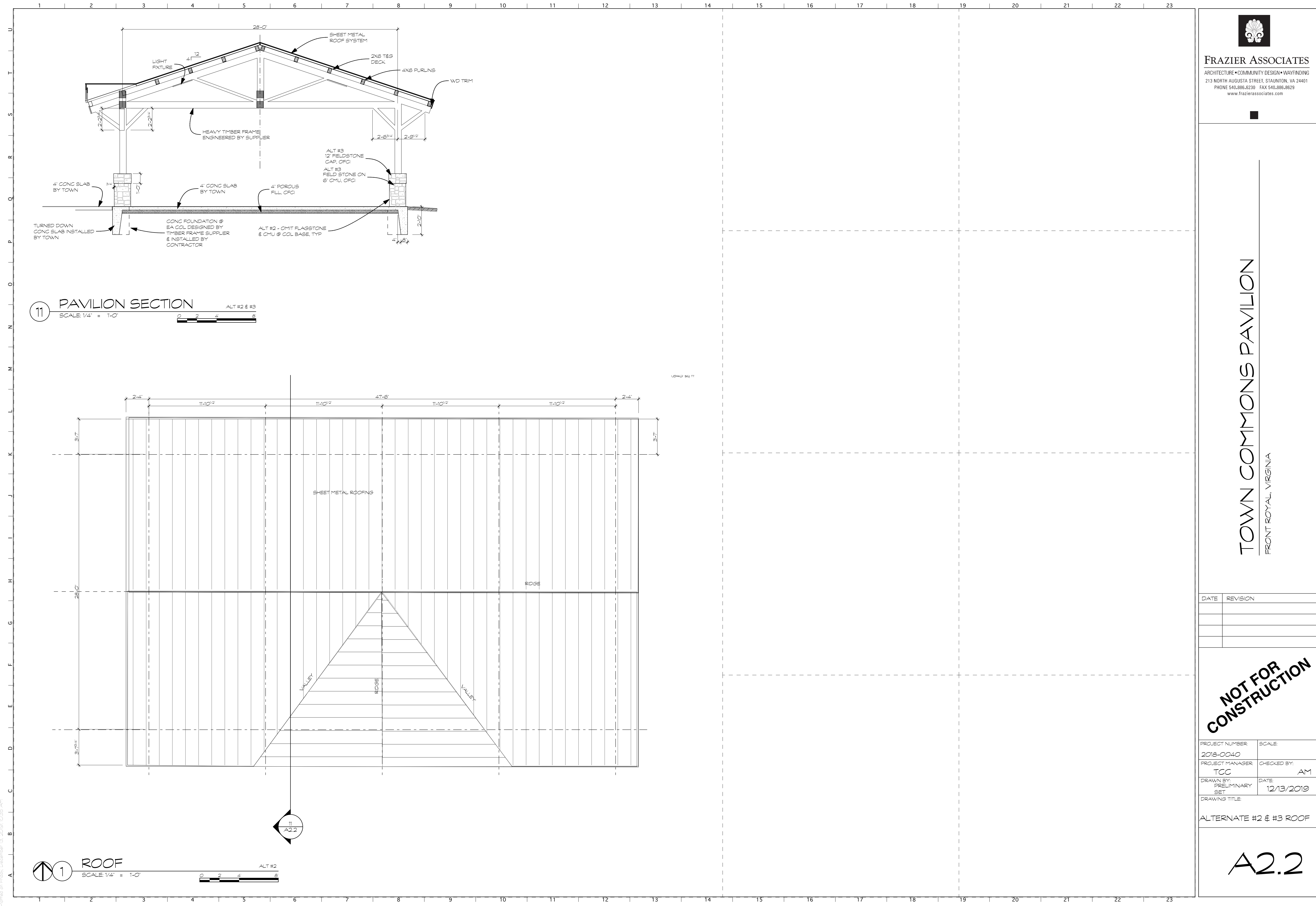
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ALTERNATE #2 & #3 PLAN

## A2.1





11 PAVILION SECTION ALT #2 & #3  
SCALE: 1/4" = 1'-0"

1 ROOF ALT #2  
SCALE: 1/4" = 1'-0"



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TOWN COMMONS PAVILION

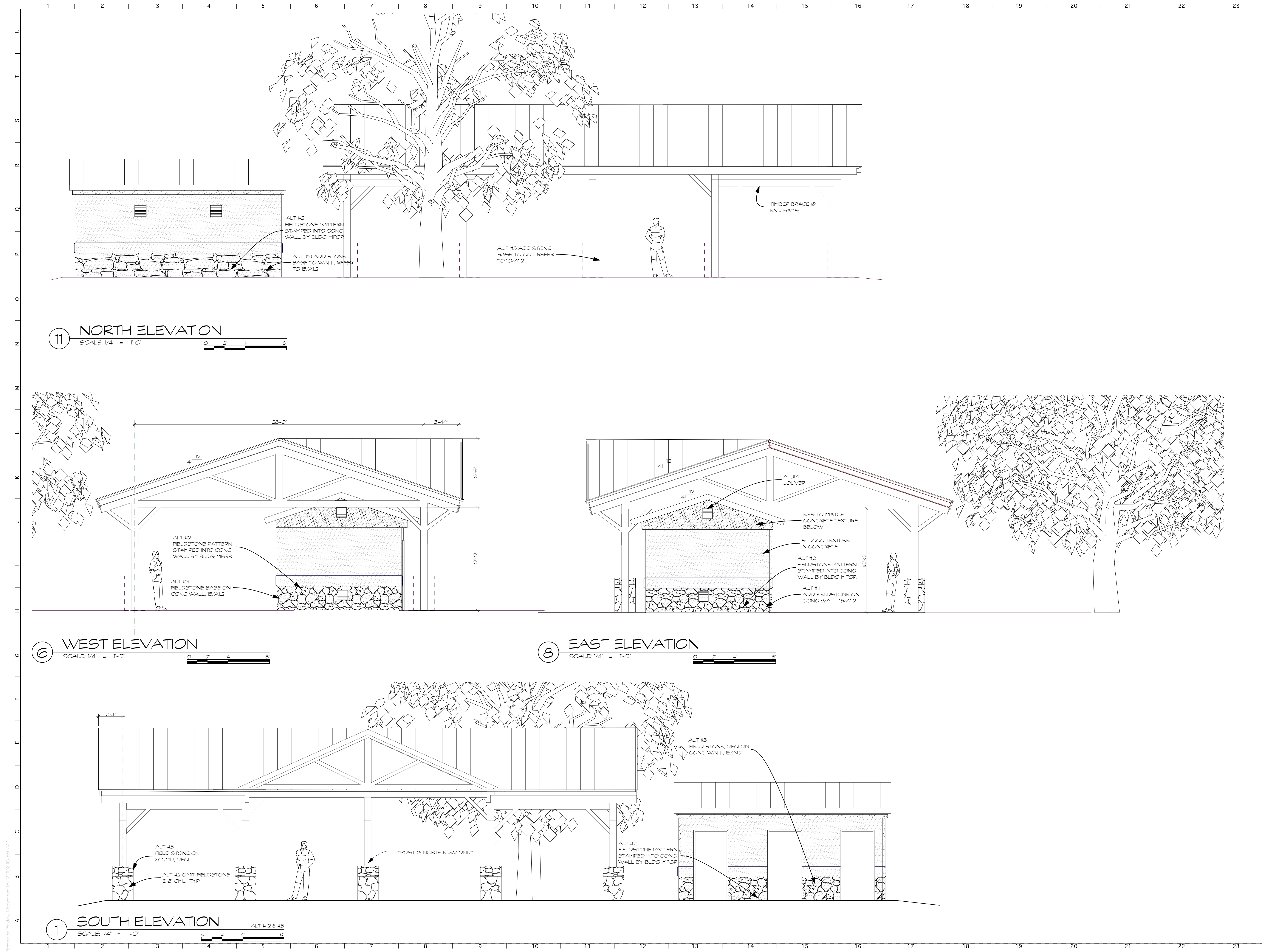
FRONT ROYAL, VIRGINIA

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| DRAWING TITLE:<br>ALTERNATE #2 & #3 ROOF |                     |

A2.2



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TOWN COMMONS PAVILION

FRONT ROYAL, VIRGINIA

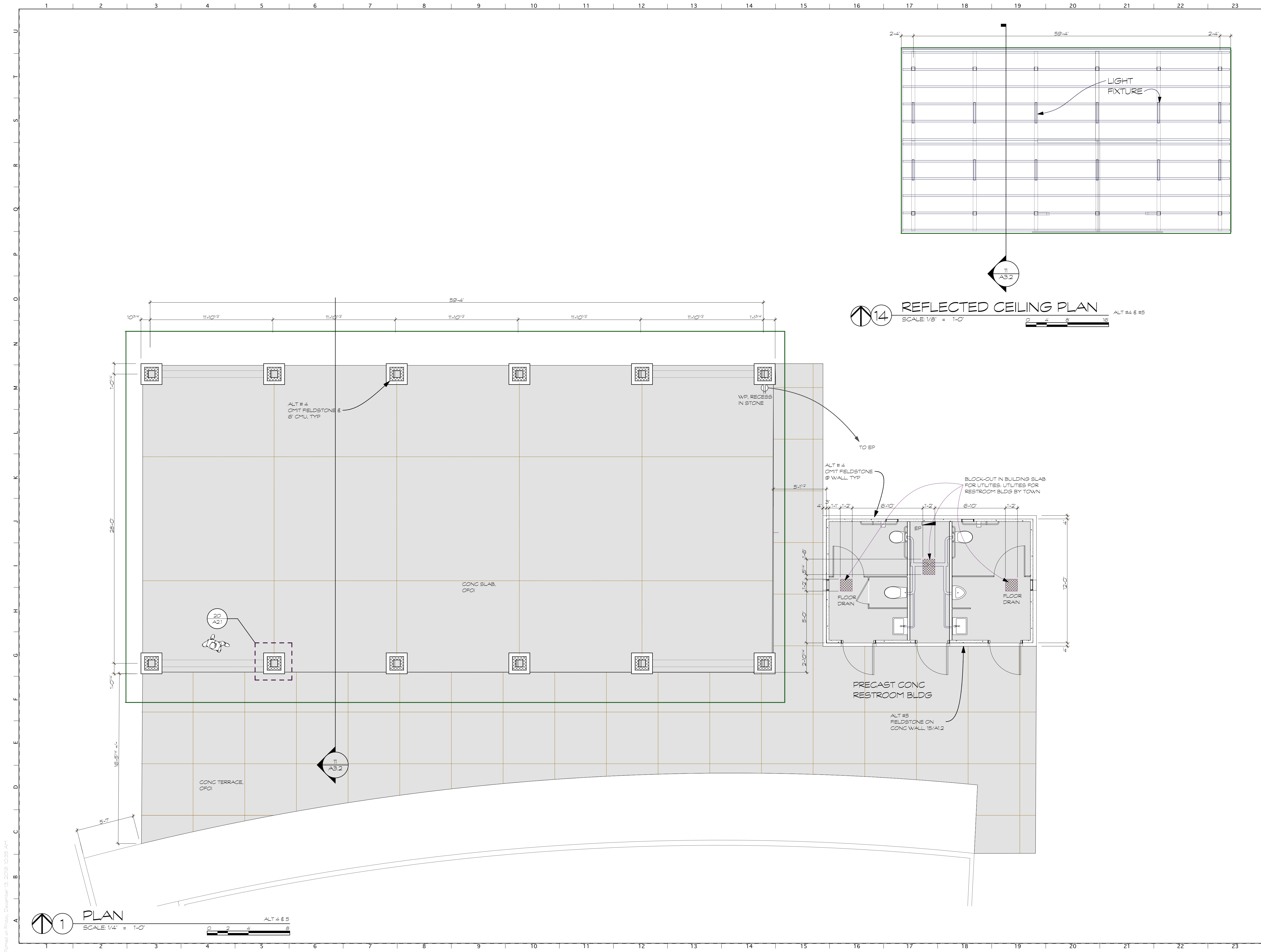
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ALTERNATE #2 & #3 ELEV

A2.3



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# TOWN COMMONS PAVILION

FRONT ROYAL, VIRGINIA

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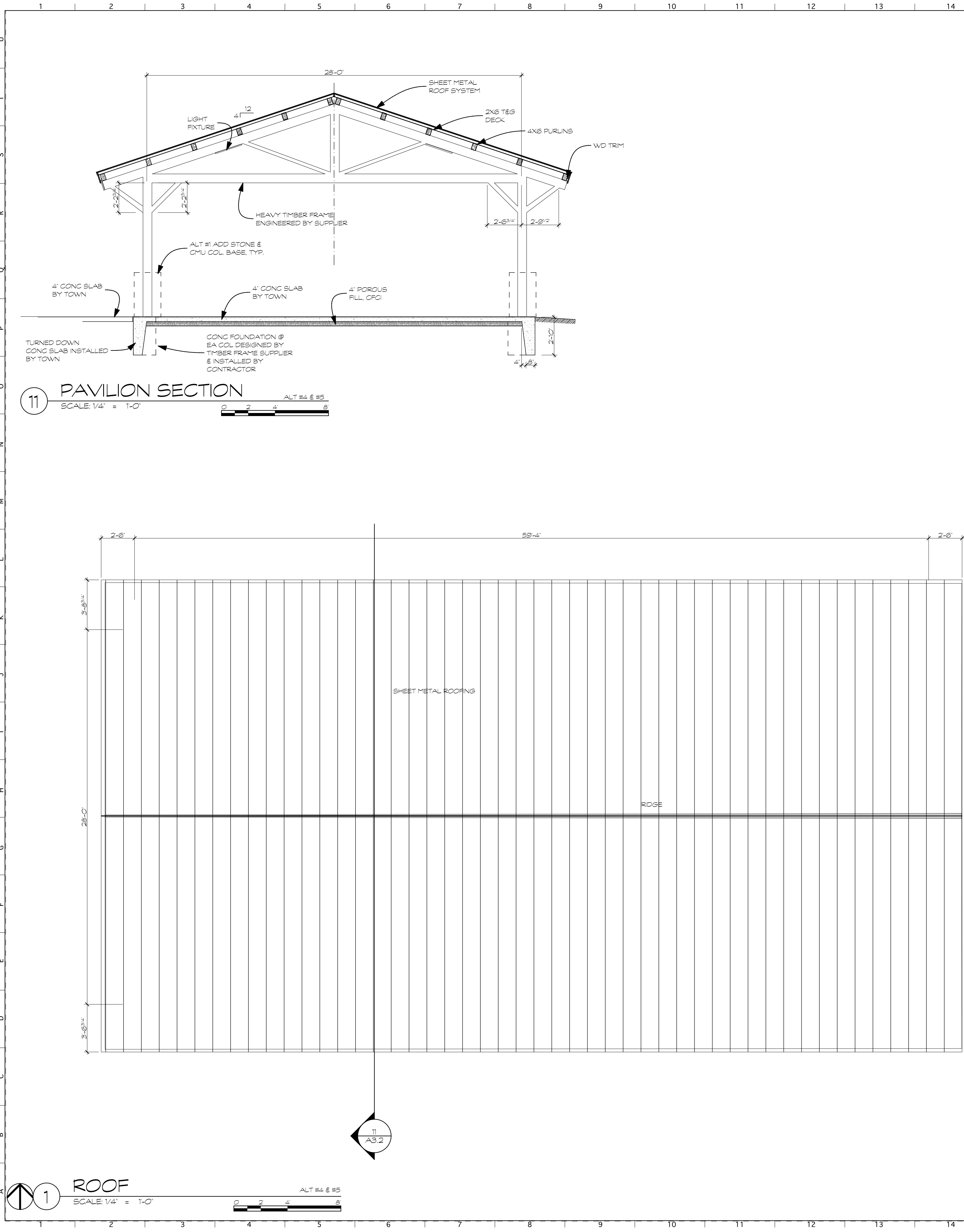
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| PROJECT MANAGER:<br>TCC         | CHECKED BY:<br>AM   |
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ALTERNATE #4 & #5 PLAN

A3.1

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TOWN COMMONS PAVILION

FRONT ROYAL, VIRGINIA

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| PROJECT MANAGER:<br>TCC         | CHECKED BY:<br>AM   |
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| DRAWING TITLE:                  |                     |

ALTERNATE #4 & #5 ROOF

A3.2

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TOWN COMMONS PAVILION

FRONT ROYAL, VIRGINIA

DATE REVISION

NOT FOR  
CONSTRUCTION

PROJECT NUMBER

2018-0040

PROJECT MANAGER

TCC

DRAWN BY:

PRELIMINARY

SET

DRAWING TITLE:

ALTERNATE #4 & #5 ELEV

A3.3

## VENDOR SPREAD SHEET



Town of Front Royal, VA

### BID TABULATION SUMMARY

BID: IFB #01-2020 TOWN COMMONS PAVILION

BID OPENING DATE & TIME: 1/27/20 @ 2 PM

|                       | PINE KNOLL CONSTRUCTION<br>COMPANY,<br>CLEARBROOK, VA | FUOG/INTERBUILD,<br>PURCEVILLE, VA |
|-----------------------|-------------------------------------------------------|------------------------------------|
| DESCRIPTION           |                                                       |                                    |
| BASE BID              | \$244,186.00                                          | \$295,824.00                       |
| ALTERNATE #1          | \$26,168.00                                           | \$6,000.00                         |
| ALTERNATE #2          | \$12,995.00                                           | \$3,265.00                         |
| ALTERNATE #3          | \$39,163.00                                           | \$9,265.00                         |
| ALTERNATE #4          | \$26,887.00                                           | \$10,250.00                        |
| ALTERNATE #5          | \$53,055.00                                           | \$16,250.00                        |
| TOTAL WITH ALTERNATES | \$402,454.00                                          | \$340,854.00                       |

The VENDOR SPREAD SHEET is generated from the initial, raw information collected.

No award decision has been made.

Prepared by: Alisa Scott, CPPB, VCO, PMP

Department of Purchasing  
102 E Main Street  
Front Royal, VA 22630  
Website: [www.frontroyalva.com](http://www.frontroyalva.com)  
Phone 540-636-6889

2



## Work Session Agenda Form

Item # 2

DATE: 2/19/20

**AGENDA ITEM:** Advertisement of 2020 Real Estate and Personal Property Tax Rate

**SUMMARY:** Council is requested to provide direction to Town staff on the rates to advertise for the 2020 real estate tax rate and personal property tax rate.

The 2019 Town of Front Royal Real Estate Tax was \$0.135 per \$100 of assessed value and the Personal Property Tax Rate was \$0.64 per \$100 of assessed value with a Personal Property Tax Relief Rate of 56%.

The FY21 Proposed Budget includes revenues based on a real estate tax rate decrease of \$0.005 per \$100 for a rate of \$0.13 per \$100 of assessed value and Personal Property Tax Rate of \$0.64 per \$100 of assessed value with a Personal Property Tax Relief rate of 53%.

Council is requested to provide staff with direction for advertising of the 2020 tax rate, so that the first reading can be added to the March 9<sup>th</sup>, 2020 agenda.

**BUDGET/FUNDING:** N/A

**STAFF RECOMMENDATION:** Staff recommends for Council to approve the Real Estate Tax Rate of \$0.13 per \$100 of assessed value and Personal Property Tax Rate of \$0.64 per \$100 with a Personal Property Tax Relief Rate of 53%

Work Session

# Revenue Values Based on Tax Rate

- Based on 2019 values \$0.01 of the Town's tax rates equates to approximately the follow values of revenue:

|                                 | <u>2019 Revenue</u> | <u>2019 Tax Rate</u><br><u>Per \$100</u> | <u>Revenue</u><br><u>Value of \$0.01</u> |
|---------------------------------|---------------------|------------------------------------------|------------------------------------------|
| <b>Personal Property w/PPTR</b> | \$ 597,872          | \$ 0.640                                 | \$ 9,342                                 |
| <b>Real Estate</b>              | \$ 1,744,971        | \$ 0.135                                 | \$ 129,257                               |



## REAL ESTATE TAX RATE COMPARISON

*FY21 Proposed*

| <b>R/E Tax Rate Per \$100 Assessed Value</b>                                      | <b>\$ 0.125</b> | <b>\$ 0.130</b> | <b>\$ 0.135</b> | <b>\$ 0.140</b> | <b>\$ 0.145</b> | <b>\$ 0.150</b> | <b>\$ 0.155</b> | <b>\$ 0.160</b> |
|-----------------------------------------------------------------------------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|
| Estimated Total Real Estate Tax Revenue                                           | \$ 1,615,713    | \$ 1,680,341    | \$ 1,744,970    | \$ 1,809,598    | \$ 1,874,227    | \$ 1,938,855    | \$ 2,003,484    | \$ 2,068,112    |
| Revenue Difference From FY21 Proposed Budget                                      | \$ (64,629)     | \$ -            | \$ 64,629       | \$ 129,257      | \$ 193,886      | \$ 258,514      | \$ 323,143      | \$ 387,771      |
| <b>COMPARISON OF REAL ESTATE TAX BILL BASED ON PROPERTY ASSESSED AT \$200,000</b> |                 |                 |                 |                 |                 |                 |                 |                 |
| <b>Total Annual Real Estate Tax Bill</b>                                          | <b>\$ 250</b>   | <b>\$ 260</b>   | <b>\$ 270</b>   | <b>\$ 280</b>   | <b>\$ 290</b>   | <b>\$ 300</b>   | <b>\$ 310</b>   | <b>\$ 320</b>   |

3



## Work Session Agenda Form

Item # 3

DATE: February 10, 2020

**AGENDA ITEM:** Volunteers for the Town Scholarship Committee

**SUMMARY:** In 2015 Council approved \$1,000 for the implementation of the "Town of Front Royal Scholarship Program." Each year, Council is requested to have two council members volunteer to review the applications and select scholarship recipients (\$500.00 each) who will be presented with their awards in the spring at a regular Council meeting. The deadline for this year's applicants is March 20, 2020. Both local high schools, R-MA and local private schools were notified of the scholarship.

*Note: This year an additional \$500.00 was donated anonymously and Council accepted this donation at the February 10, 2020 Regular Meeting; therefore, there will be three students who will receive \$500.00 each.*

**BUDGET/FUNDING:** 1101-45428 Incidental Expenses ~ Scholarships

**STAFF RECOMMENDATION:** Council takes desired action to select council members to the Town Scholarship Committee

Work Session

# TOWN OF FRONT ROYAL SCHOLARSHIP

## APPLICATION

Two *Town of Front Royal Scholarships* will be awarded to three (3) graduating seniors who reside in the limits of the Town of Front Royal. The Scholarships are for \$500.00 each and is a one-time grant to deserving students pursuing continued undergraduate or trade education at an accredited university, community college, or trade school. Town Council will present the awards in Spring 2020 at a Town Council Meeting.

Name \_\_\_\_\_

Address \_\_\_\_\_

\_\_\_\_\_

Phone# \_\_\_\_\_

E-Mail \_\_\_\_\_

Parent/Guardian \_\_\_\_\_

School Currently Attending \_\_\_\_\_

**Please attach complete responses to all questions below so that the Evaluation Committee can effectively evaluate your application.**

- 1) Describe your post high school education plans, as well as your plans for employment following completion of your education.
- 2) List your activities in high school.
- 3) List your community activities in high school.
- 4) List all honors and awards during high school.
- 5) Describe how living in Front Royal has influenced your future plans.

**Deadline: Friday, March 20, 2020 @ 5:00pm**

---

Once completed return application by E-mail, Mail, or Deliver to:  
Interim Town Manager Matthew A. Tederick [tederick@frontroyalva.com](mailto:tederick@frontroyalva.com)  
102 E. Main Street, P.O. Box 1560, Front Royal, VA 22630  
Additional Information contact the Town Manager at (540)635-8007, Monday-Friday, 8:00am – 5:00pm